

Amended Village Planned Development Final Submittal

October 8, 2021

THE MUNSON REALTY COMPANY

305 Woodward Street
Denison, TX 75020

Planning and Urban Design

JR Urban Advisors
211 North Ervay Street
Suite 600
Dallas, TX 75201

Civil Engineer

Jones I Carter
2805 Dallas Parkway, Suite 600
Plano, Texas 75093

Preface

The Village Planned Development Amendment maintains all the original Village Development vision, intentions and standard as approved by Sherman City Council in October 2019. This Amendment revises the East Zone from Employment to Employment and Residential. The incorporation of residential is based on updated market information which recommends residential in proximity to the Sherman High School.

Table of Contents

I. Introduction 5

II. Components of Development Plan 7

III. Land Uses 12

IV. Site Development Standards 13

V. Building and Lot Standards 23

VI. Architectural Standards..... 33

VII. Lighting, Parking and Signage Standards 46

VIII. Landscaping Standards 49

IX. Parks, Recreation and Open Space Standards..... 52

X. Appendix 54

I. INTRODUCTION

A. Plan Overview

The Village Planned Development is a revision to, and update of the Village Planned Development adopted by Sherman City Council in October 2019. This planned development document makes minor changes in land uses to two of the zones in The Village Planned Development. This document also addresses urban design standards.

The Village Planned Development is a mixed-use community encompassing approximately 624 acres located in Sherman, Texas. The Planned Development offers a mix of commercial and residential opportunities complimented by almost twenty percent of the land area set aside as parks, open space or other village amenities. The use and development regulations set forth in the Development Plan provide for and encourage development that contains a compatible mix of employment, residential, commercial, recreational uses in proximity to one another.

The Planned Development is intended to facilitate the planning, design, and development of integrated land uses for this property. The Planned Development demonstrates enhanced and contextual design standards, presents a well-organized and cohesive land plan, and contains clear and concise development regulations. The Planned Development is to provide a coordinated and comprehensive document for the rezoning and urban design of the new community. The Planned Development establishes specific, unique planning and design objectives by integrating land uses, intensities, relationships, parking, open space preservation, and village lifestyle character. The Planned Development establishes a set of principles and uses implementation guides as a means of creating a unified and predictable pattern of development and design character that is intended to be both flexible yet consistent in its application over the life of the project.

Land uses, design and development standards and guidelines are specific to this Planned Development and not associated with other standards of the City of Sherman Zoning Ordinance. This document and the rezoning of the property is intended to guide the City and developer on public infrastructure, public and private land uses, which may also be associated with separate developer agreements.

B. Development Objectives

The Planned Development addresses the physical relationship between development and adjacent properties, public streets, neighborhoods, and the natural environment through the following set of development objectives:

- Ensuring buildings relate appropriately to surrounding developments and streets to create cohesive visual identity and attractive street scenes.
- Offering a variety of housing types responsive to current and future residents' desire for a mix of product types based on their demographic and income needs.

The Village Planned Development

- Siting land uses, streets, and pedestrian circulation in a cohesive complementary layout supportive of the mix of uses and oriented towards the pedestrian realm to enhance and activate streetscapes.
- Applying residential and non-residential architectural façade elements and finishes.
- Ensuring creation of high-quality street and sidewalk environments that are supportive of pedestrian mobility and appropriate to roadway context.
- Creating an enhanced pedestrian realm by the inclusion of wide sidewalks, vegetative avenues and a trail system interconnecting the respective development areas of the village; and,
- Preserving the natural resources of the site to the greatest extent practicable recognizing the value of the floodplain and stream channels as amenities to the development.

C. Purpose

The purposes of these guidelines and regulations are as follows:

- To reduce the potentially negative aesthetic, economic, traffic-related, and other impacts of retail structures and sites upon the community by breaking up the apparent mass and scale of building walls and parking areas.
- To ensure that retail development is compatible with its surroundings and reinforces The City of Sherman's and the Planned Development's character, historical heritage and tradition, and unique sense of place.
- To encourage a mixture of uses and sizes of structures and promote an integrated, village-like approach toward site development, building design, and the landscape.
- To encourage the development of a safe and comfortable pedestrian-scale environment that achieves variety, visual interest, and creative design to foster community pride and protect property values and the interests of citizens.

II. COMPONENTS OF THE DEVELOPMENT PLAN

The Development Plan is organized as follows:

- **The Conceptual Master Plan**, which graphically depicts the development framework and intent.
- **Planned Development Framework**, which details how the planned development is structurally organized in a hierarchy of development zones and districts.
- **Land Use, Site and Architectural Requirements**, which provide a functional distribution of land use types, density and design characteristics for each district envisioned in this Planned Development. Sections within this document provide detail and context for site and building design, which are intended at a guide at this stage, to be refined further at Detailed Site Plan.

A. Conceptual Master Plan

The provisions of this document are presented through a Conceptual Master Plan with accompanying Development Plan standards and design guidelines. The Conceptual Master Plan includes a depiction of general area zones, development districts, and general circulation patterns. The allocation of specific land uses, buildings, and the proposed road network will be identified as specific development plans come forward at the detailed site plan stage. The underlying site plan depicted as part of the Conceptual Master Plan is presented as illustrative only and not intended to be final. (See Appendix - Figure 1 – Conceptual Master Plan).

The Conceptual Master Plan is an overall guide to the development of the community. The Conceptual Master Plan illustrates a balanced community that incorporates residential, civic, commercial, and employment uses in a walkable community. The Conceptual Master Plan incorporates existing site and proposed built environments that integrate the community both internally and within the region. The Conceptual Master Plan reflects the importance of incorporating the adjacencies of the high school, watersheds, FM 1417, and the expanding employment zone.

B. Planned Development Framework

The Conceptual Master Plan utilizes a framework that includes Development Zones, Districts, District Character and Standards to provide an organizational framework for the Village Planned Development. The framework separates the property into four major general-area zones that are further described as a set of districts and sub-districts where appropriate.

The Zone and District hierarchy establish a sense of scale and relationship of compatible uses that establish a sense of place for the residents and users of the development. Each District responds to its location within the zone, its mix of uses and their purpose, and the establishment of distinct spaces and places that guide users through a large-scale development. Each district

will establish a district character by a set of design guidelines and development standards appropriate for the districts land use and character type. The four zones and their respective districts are connected by an integrated Transportation plan which connects all four zones (See Appendix Figure 2-Transportation Plan) and an Open Space Plan (See Appendix Figure 3 – Open Space Plan) that supports pedestrian connectivity.

C. Development Zones

The Conceptual Masterplan contains the following four zones (See Appendix - Figure 1):

1. Village Center Zone –

The **Village Center Zone** is the heart of the Planned Development, designed to act as the center of the community and a supporting center for the high school and its future facilities. The Village Center Zone is approximately 126 acres. The Village Center is designed as a pedestrian friendly mixed- use environment that promotes a human-scaled village experience for residents and the larger community. The Village Center must have a relatively dense, urban character that emphasizes mixed-use development, residences within walking distance of shops, residential, employment, and public uses, and contains accessible public places.

The Village Center Zone is composed of four primary districts that guide its use and urban form:

- Highway Commercial,
- Transition,
- Residential,
- Main Street.

The intent of the Village Center is to provide a village core to serve the community and provide an identity for all future development. The Village Center seeks to balance commercial and residential land uses in a manner that relates to the future use of FM 1417 as a regional transportation connector and the High School as a community wide resource. The Village Center Zone is projected to include approximately 680,000 SF of commercial and civic space, in addition to 2,300 residential units.

2. East Village Zone –

The **East Village Zone** is approximately 174 acres and is comprised of a residential district and two **employment districts**. The **East Village Residential District** comprises approximately 125

acres. The residential land use is intended to be village centric with a mix of street and alleys. The residential use is organized around a community space and connected internally by greenways and paseos. The community center is connected externally to the **Greenbelt Zone** through the same greenways and paseos. The East Village Residential District will contain a mix of single-family detached and attached homes and multi-family to achieve a diversity of house types and affordability. Multi-family will serve as a buffer to the employment land use east of the property. The residential areas will include pedestrian and bicycle linkages to the Village Center and Greenbelt. The **East Village Employment Districts** comprise approximately 49 acres along the north and west of FM 1417 and Moore Street intersection and the south side of Travis Street. The Employment District includes office, retail and general commercial uses.

3. West Residential Zone

The **West Residential Zone** will be primarily residential in use with a mix of residential options that range from large lot to mixed use residential in a **Residential District** and **Mixed-Use District**. The Residential District should contain a mix of single-family detached units to achieve a diversity of house types and affordability. The Residential areas will include pedestrian and bicycle linkages to the Village Center and Greenbelt. The 154-acre Residential Zone's mixed-use commercial and single-family areas are projected to yield approximately 326 residential units and 515,000 SF of commercial space at build-out.

4. The Greenbelt Zone

The Greenbelt Zone is a major feature of the Planned Development's Open Space Plan. The Greenbelt is centrally located and separates the Village Center from the Employment Zone. The Greenbelt is approximately 73 acres and contains a mix of woodlands, rolling hills and floodplain. The Greenbelt will contain a portion of the storm water drainage system for the property and Independent School District properties. The Greenbelt will be a regional park resource that also contains public facilities that serve the civic and recreational needs of the larger Sherman community. The Greenbelt will be accessible through a system of pedestrian and bike corridors that serve the Planned Development's other three zones and the High School.

D. Districts

The Village Center Zone contains the following districts (Appendix - Figure 4):.

1. Highway Commercial District

The southern half of the Village Center will be primarily highway serving commercial. The Highway Commercial District can accommodate regional retail, office and hospitality as is intended to serve regional needs of the expanding employment and residential demands in

the southwestern part of the City. The Highway Commercial Center should act as an entry to the more pedestrian friendly **Village Center**.

2. **Main Street District**

The **Main Street District** is composed of a mix of retail, office, civic, and residential uses. The uses are organized to create a main street environment in which the main streets have both retail and a limited amount of residential either above a portion of the retail or in townhouses at the end of the retail functions. The northern one-half of the Village Center may be anchored by a community oriented Civic use. The core of the Main Street District is horizontal and potentially vertical mixed use. Main Street level is composed of retail except for a potential civic land use at its northernmost end. Second and third floors of the Main Street retail may be office and residential.

3. **Transition District**

The Village Center also contains a **Transition District** that has characteristics of both village and highway commercial. The transitional retail area connects the vehicular oriented Highway Commercial District to the Main Street District in a manner that transitions vehicular speeds and introduces pedestrian friendly public realm elements.

4. **Residential District**

The perimeter of the Village Center Main Street District is supported by the **Residential District**, a mix of higher intensity multi-family housing to support the retail functions. Multi-family in the Residential District is a combination of three and four-story buildings served by dedicated surface and/or structured parking as the market for residential matures. Single Family attached (townhomes) along Munson Avenue can be two or three-story, owner occupied, or rental. Townhouses have rear-loaded enclosed parking. **The Residential District** provides residential options with an urban sensibility, which offers a variety of workforce market housing and support the retail and commercial uses in neighboring Zones and Districts.

The East Village Zone contains the following districts (See Appendix - Figure 5):

5. **Residential District**

The District consists of mixed residential housing served by a community center. The District has mixed attached residential on the east boundary to provide a buffer between the residential district and future employment on the SEDCO property. The Zone also has one employment district along each of FM1417 and Travis Street. The East Village Zone and its three Districts is separated from the Village Center by the Greenbelt. Visual and physical

access to the Greenbelt by the **East Village Residential District** is a critical aspect of creating a sense of community and proving direct linkage between the two Zones.

6. Employment Districts

The **Employment Districts** are intended to provide horizontal and vertical mixed use along FM1417 and Travis Street. The Employment District consists of employment, medical and healthcare, entertainment and commerce.

West Residential Zone contains the following districts (See Appendix - Figure6):

7. Residential District

The Residential District consists of mixed residential housing served by a community center.

8. Mixed Use District

The Mixed-Use District consists of mixed vertical and horizontal commercial and multi-family residential. The Mixed Used District buffers the Residential District from FM 1417.

Greenbelt Zone (See Appendix - Figure 7):

The Greenbelt is intended to be a City Park that is used for recreational and regional drainage use only. It may contain active and passage recreational uses only.

III. LAND USE

Land uses in the Village Planned Development are described in the following table as permitted, conditionally permitted, or not allowed by district and development zone, as depicted. P = Permitted and S=Special Use Permit

Table 1 Land Uses

Use	Village Center				East Village			West Residential		Greenbelt
	Highway Commercial	Main Street	Transition	Residential	Residential	Multi-Family	Employment	Residential	Mixed Use	
Residential										
Assisted Living				P	P	P		P		
Dwelling, Multi-Family				P	P	P		P	P	
Dwelling, Townhouses				P	P	P		P		
Dwelling, Single Family				P	P			P		
Commercial										
Retail	P	P	P	P			P		P	
Restaurant	P	P	P	P			P		P	
Restaurant/Drive Thru	P						P		P	
Lodging/Hotel	S	S	S				S		S	
Lodging/ Bed & Breakfast	P	P					P		P	
Microbrewery	P	P	P				P		P	
Gas/Convenience	P						P			
Health Club/Studio	P	P	P	P	P		P		P	
Day Care	P		P				P		P	
Food Service/Restaurant	P	P	P	P			P		P	
Mini-Warehouse							P			
Indoor Storage							S			
Gallery	P	P	P							
Animal Hospital/Veterinary Clinic	P		P				P		P	
Religious/Congregation	P						P		P	
Entertainment	P	P	P				P		P	
Alcoholic Beverage Sales	P		P				P		P	
Employment										
Broadcast Facilities	P		P				P		P	
Co-Work Office	P	P	P				P		P	
Corporate Office							P			
Multi Tenant Office	P	P	P				P		P	
Medical	P		P				P		P	
Research and Development							P			
Assemblage and Manufacturing							P			
Civic										
Community Center		P								
Recreation Center		P								
Library		P								
Park Facilities										P
Conference Center		P								

Prohibited Uses

- Sexually Oriented Businesses
- Gas Wells
- Explosives and Arms Sales
- Tattoo Parlors
- Payday/ Title Loans
- Mini Water Treatment Plants
- Mini Wastewater Treatment Plants

IV. SITE DEVELOPMENT STANDARDS

The site development standards section established the standards for public realm improvements, street types, widths, amenities, and public spaces.

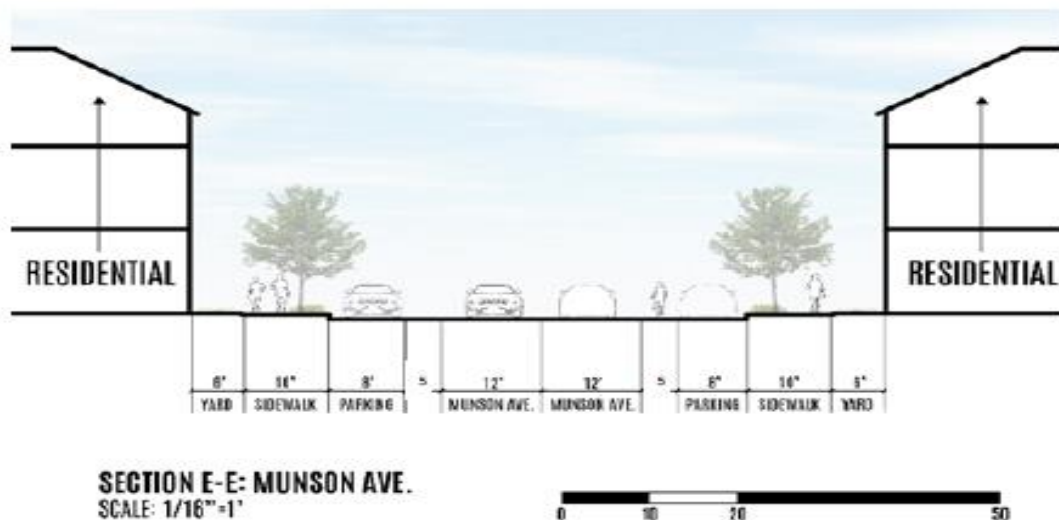
A. Main Street and Transition Districts (Village Center Zone)

1. Street Typologies

The Main Street District will consist of two Street Typologies—Munson Avenue and Main Street. Each street typology will have different characteristics and dimensional requirements.

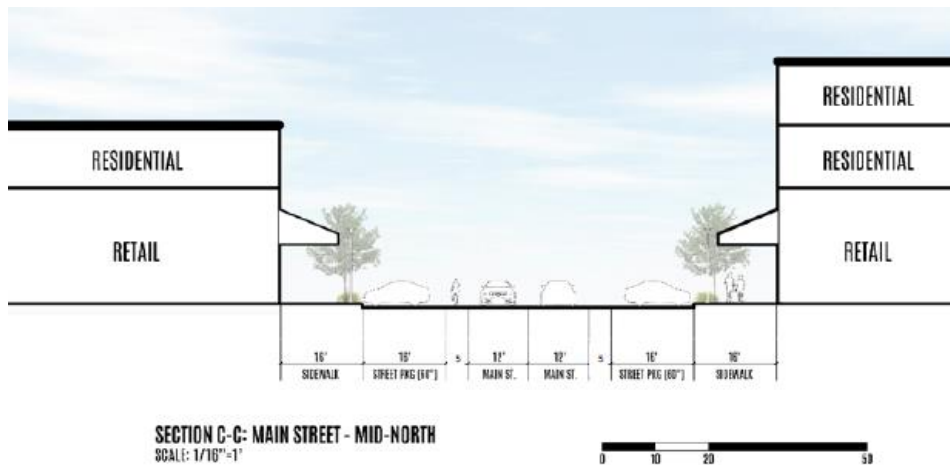
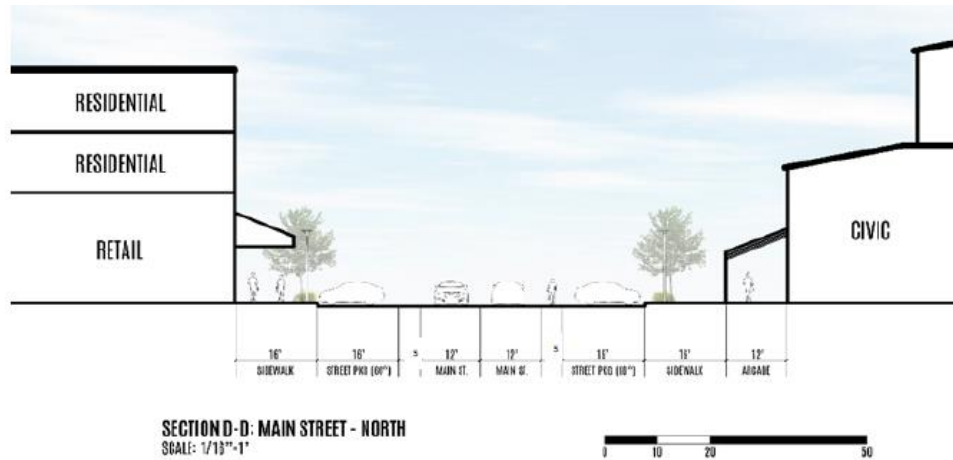
a. Munson Avenue

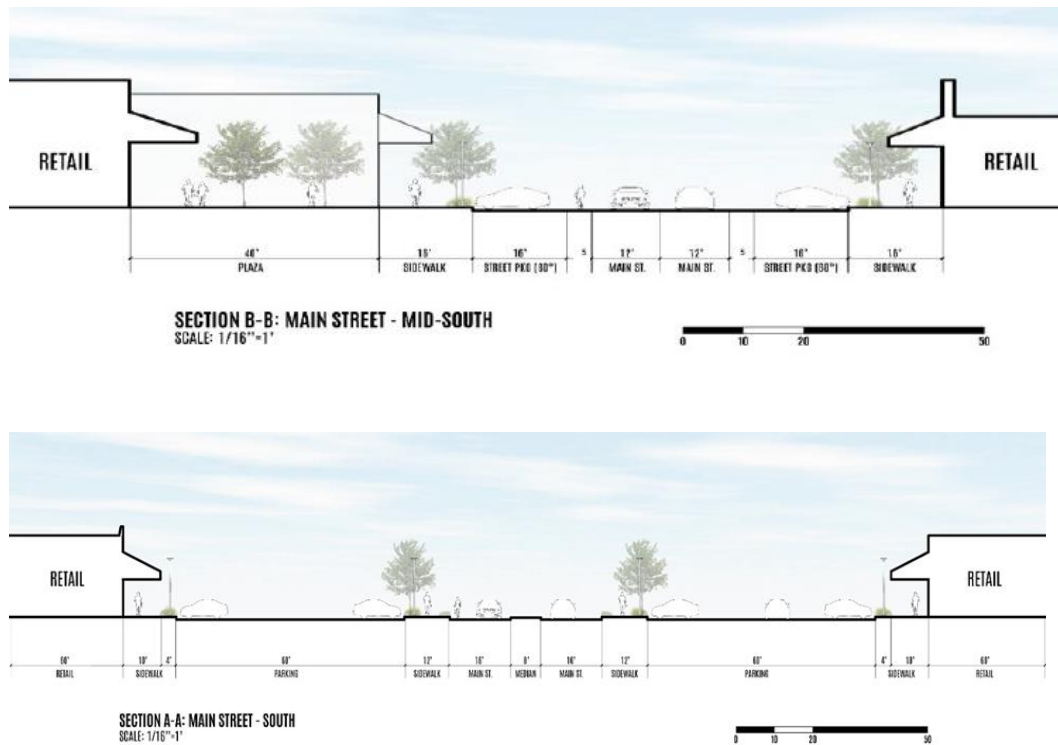
The northernmost portion of the proposed Munson Avenue is flanked by the Residential District on either side. The right of way on this portion of Munson Avenue is 68 feet wide. It consists of a two-way paved road with two 12-foot lanes, two 5-foot bike lanes, and two 8-foot lanes for parallel parking along the street. The sidewalk on each side shall be 10 feet wide, with the innermost feet reserved for landscaping. The portion of Munson Avenue near the intersection with Main Street is flanked by retail uses on either side. In this portion, there shall be no lane for street parking, and this 8' area will become additional sidewalk. West of the intersection with Main Street, the road is again flanked with Residential District on either side of Munson Avenue. This portion will again have two 8-foot lanes for parallel parking along the street.



b. Mainstreet

The public right of way on the proposed Main Street has four different conditions. The section of Main Street between Travis and Munson Avenue will be a 96-foot right of way. This section of Main Street consists of a two-way paved road with two 12-foot drive lanes, two 5-foot bike lanes, and angled parking at 16 feet wide on each side. The sidewalk on each side shall be 16 feet wide, with the innermost 4 feet reserved for landscaping. The section of Main Street between Munson Avenue and the Transition District will be an 88-foot wide right of way. It shall consist of a two-way paved road with two 12-foot drive lanes and two 5-foot bike lanes. The sidewalk shall be a minimum of 10 feet and a landscape buffer of 18 feet. The landscape buffer will include amenities for pedestrians such as seating and enhanced paving.





a. Public Spaces

There are five different types of public spaces in the Main Street District—parks, paseos, sidewalks, and the plaza.

i. Parks

Parks shall be primarily green spaces located along enhanced streets and/or pedestrian/bike corridors. Parks may include features such as shade structures, fountains, water features, tables, benches, and decorative pavers. All parks must be ADA compliant. Parks shall be a maximum of 50% hard space and have a minimum of 40% tree canopy coverage at maturity.

ii. Paseos

In the Residential or Office Over Retail typology, there will be three paseos allowing pedestrian and vehicular access from the parking lot behind the buildings on one side of Main Street to the parking lot behind the buildings on the other side of Main Street. Each paseo shall have a width of 24 feet but no greater than 30% of the combined building height of the buildings on either side. Some paseos may be meant for vehicular access (including a drive with 5-foot minimum sidewalks), while at least one paseo shall be pedestrian only. Paseos shall be lined with native trees and landscaping on either side.

iii. Sidewalks

Within the Main Street District, sidewalks range from 6 feet to 10 feet wide, as described in the Street Typologies section above. All sidewalks will be bordered by either the front edge of a retail shop and landscape buffer, or two landscape buffers. The plan provides enhanced pedestrian crossings at intersections by minimizing curb to curb dimensions, ADA compliant ramps and curbing, and enhanced landscaping and lighting.

iv. Plazas

An area of at least 15,000 square feet at one corner of the intersection of Main Street and Munson Avenue shall be left as open space for a public plaza. This plaza may include features such as shade structures, fountains, water features, tables, benches, and decorative pavers. Portions of the plaza may be sloped no more than 1:20; they may, however, be raised or lowered with stairs and accessible ramps. The plaza shall be a minimum of 75% hard space and have a minimum of 25% tree canopy coverage at maturity.

V. Building Front and Side-yards (front and side yard space is only applicable in the village center residential district)

Areas in the front and side-yards of any residential in the Village Center shall be considered public space for management and maintenance purposes only. Front and side yards are for private use only. The front and side yards will be maintained through a third-party property management provider.

B. Highway Commercial District (Village Center Zone)

a. Street Typologies

The Highway Commercial District will consist of one Main Street typology. The section of Main Street in the Highway Commercial District shall be a 100-foot right of way. The cross-section of Main Street at FM1417 will be based on a traffic study to determine the required number of ingress and egress lanes and transition from the intersection of FM 1417 to the interior of the District.

b. Public Spaces

There are two different types of public spaces in the Highway Commercial District—walkways and paseos.

i. Walkways in Parking Lots

Walkways that cross parking bays shall be located in landscaped medians or corridors that include trees and groundcovers. Landscape islands in parking lots shall be located a maximum of 200 lineal feet apart. Mid-block walkways shall be 12 feet in width with a 4-foot centered

walk and two 4-foot landscaped areas. Each landscape area shall have a minimum of one mid-sized tree and plus ground cover. Parking bays shall be separated from drive lanes by a minimum 4-foot wide median. Each end of median shall contain two native trees and ground covers over 100% of the median. Native trees and ground covers must allow clear lines of sight. Where the required walkways cross drives, parking aisles, or other vehicular ways, the crosswalks shall be distinguished from driving surfaces by the use of durable, low-maintenance surface materials such as concrete or brick pavers; or scored, colored concrete.

ii. Paseos

The Highway Commercial District will have paseos that connects the Transition District to FM 1417. The number of paseos will depend upon the location and size of retail in the Highway Commercial Districts. Paseos will occur at the end of each multi-tenant retail and along each side of major entrances off FM 1417.

C. Residential District (Village Center Zone)

a. Street Typologies

The Residential District will consist of one Main Street typology. The section of Main Street in the Residential District shall be a 68 -foot right of way. The cross-section of Main Street at FM1417 will be based on a traffic study to determine the required number of ingress and egress lanes and transition from the intersection of FM 1417 to the interior of the District.

b. Public Spaces

Public spaces within the Residential District are limited to the frontage of buildings and central walkways from FM 1417 to building frontage and parks for multi-family groupings.

i. Frontage of Buildings

The frontage of buildings within the Residential District shall be considered open space. The space between buildings and parking or drive lanes shall be a minimum of 16 lineal feet and contain a minimum 4-foot landscape buffer between back of curb and sidewalk.

ii. Parks

Each grouping of four multi-family residential or multi-family with retail combination shall have a minimum of one park. The park shall be a minimum of 15% the ground floor of each four-building grouping. Parks may include features such as shade structures, fountains, water features, tables, benches, and decorative pavers. All parks must be ADA compliant. Parks shall be a maximum of 50% hard space and have a minimum of 40% tree canopy coverage at maturity. The Residential District will have a minimum of one dog park of a

minimum of 1,000 square feet in addition to the park space requirements as described above.

iii. Walkways in Parking Lots

Walkways that cross parking bays shall be located in landscaped medians or corridors that include trees and groundcovers. Landscape islands in parking lots shall be located a maximum of 200 lineal feet apart. Mid-block walkways shall be 12 feet in width with a 4-foot centered walk and two 4-foot landscaped areas. Each landscape area shall have a minimum of one mid-sized tree and plus ground cover. Parking bays shall be separated from drive lanes by a minimum 4-foot wide median. Each median shall contain two native trees and ground covers over 100% of the median. Native trees and ground covers must allow clear lines of sight. Where the required walkways cross drives, parking aisles, or other vehicular ways, the crosswalks shall be distinguished from driving surfaces by the use of durable, low-maintenance surface materials such as concrete or brick pavers; or scored, colored concrete.

D. Residential District (East Village Zone)

a. Street Typologies

The East Village Residential District will consist of three street typologies and one alley typology. Entry roads from Moore Street into the East Village Zone will be a 62 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, one central 8-foot landscaped median, two 6-foot sidewalks and two 5-foot landscape buffers between the sidewalk and back of curb. The East Village Zone will be served by one collector road that connects FM 1417 and Travis Street through the East Village Zone. The collector street will also connect Moore Street to the north /south collector on the east side of the zone (Appendix - Figure 7). Collector roads will be a 54 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, two 6-foot sidewalks and 4-foot landscape buffers between the sidewalk and back of curb. Alleys that serve rear loaded lots will be a minimum of 12 feet and a maximum of 16 feet wide.

b. Public Spaces

There are three types of public spaces in the East Residential District - Community Center, Sidewalk and Boulevards, Paseos.

i. Community Center

The Residential District in the shall have one community center for the use of the residents of the Residential District.

ii. Sidewalks

Within the Residential District, sidewalks are a main aspect of community open space. They serve both connectivity and provide additional landscape opportunities when combined with street and front yards elements. Sidewalks are a minimum 6 feet in width and should be separated from the street by a 4-foot minimum landscape buffer to support the healthy growth of street trees

iii. Paseos

Paseos or greenways In the Residential District, provide connectivity between residential and adjoining open space. Paseos should be designed in the final detailed site plan to provide visual transition between the two uses by varying the width of the corridor, curvature of the alignment and variation in landscape materials to establish points of entries. Paseos provide an ideal way of transitioning from open space natural landscape and more ornamental landscape of residential.

E. Employment Districts (East Village Zone)

a. Street Typologies

The East Village Residential District will consist of three street typologies and one alley typology. Entry roads from Moore Street into the East Village Zone will be a 62 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, one central 8-foot landscaped median, two 6-foot sidewalks and two 5-foot landscape buffers between the sidewalk and back of curb. The East Village Zone will be served by one collector road that connects FM 1417 and Travis Street through the East Village Zone. The collector street will also connect Moore Street to the north /south collector on the east side of the zone (Appendix - Figure 7). Collector roads will be a 54 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, two 6-foot sidewalks and 4-foot landscape buffers between the sidewalk and back of curb. Alleys that serve rear loaded lots will be a minimum of 12 feet and a maximum of 16 feet wide.

b. Public Spaces

There are three types of public spaces in the East Residential District - Community Center, Sidewalk and Boulevards, Paseos.

i. Community Center

The Residential District in the shall have one community center for the use of the residents of the Residential District.

ii. Sidewalks

Within the Residential District, sidewalks are a main aspect of community open space. They serve both connectivity and provide additional landscape opportunities when combined with street and front yards elements. Sidewalks are a minimum 6 feet in width and should be separated from the street by a 4-foot minimum landscape buffer to support the healthy growth of street trees.

iii. Paseos

Paseos or greenways In the Residential District, provide connectivity between residential and adjoining open space. Paseos should be designed in the final detailed site plan to provide visual transition between the two uses by varying the width of the corridor, curvature of the alignment and variation in landscape materials to establish points of entries. Paseos provide an ideal way of transitioning from open space natural landscape and more ornamental landscape of residential.

F. Residential District (West Residential Zone)

a. Street Typologies

The West Residential District will consist of two street typologies and one alley typology. Entry road into the district will be a 62 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, one central 8-foot landscaped median, two 6-foot sidewalks and two 5-foot landscape buffers between the sidewalk and back of curb. Circulator roads that provide frontage to buildings will be a 54 foot right of way and contain two 12-foot drive lanes, two 5-foot bike lanes, two 6-foot sidewalks and 4-foot landscape buffers between the sidewalk and back of curb. Alleys that serve rear loaded lots will be a minimum of 12 feet and a maximum of 16 feet wide.

b. Public Spaces

There are four types of public spaces in the West Residential District - Ravine Park, Community Center, Sidewalk and Boulevards, Paseos.

i. Ravine Park

The West Residential District contains a natural drainage area and partial floodplain that will

be incorporated into a community green space. Location, size, and orientation of the park will be completed in the detail site plan.

ii. Community Center

The Residential District in the shall have one community center for the use of the residents of the Residential District.

iii. Sidewalks

Within the Residential District, sidewalks are a main aspect of community open space. They serve both connectivity and provide additional landscape opportunities when combined with street and front yards elements. Sidewalks are a minimum 6 feet in width and should be separated from the street by a 4-foot minimum landscape buffer to support the healthy growth of street trees

iv. Paseos

Paseos or greenways In the Residential District, provide connectivity between residential and adjoining open space. Paseos should be designed in the final detailed site plan to provide visual transition between the two uses by varying the width of the corridor, curvature of the alignment and variation in landscape materials to establish points of entries. Paseos provide an ideal way of transitioning from open space natural landscape and more ornamental landscape of residential.

G. Mixed-Use District (West Residential Zone)

a. Street Typologies

The Mixed-Use District will consist of two street typologies. Sections of entry streets from FM1417 to the interior of the district will be 100 feet wide. Interior streets will be a minimum of 86 feet to allow for on street parking.

b. Public Spaces

i. Walkways in Parking Lots

Walkways that cross parking bays shall be located in landscaped medians or corridors that include trees and groundcovers. Landscape islands in parking lots shall be located a maximum of 200 lineal feet apart. Mid-block walkways shall be 12 feet in width with a 4-foot centered walk and two 4-foot landscaped areas. Each landscape area shall have a minimum of one mid-sized tree and plus ground cover. Parking bays shall be separated from drive lanes by a minimum 4-foot wide median. Each end nay median

The Village Planned Development

shall contain two native trees and ground covers over 100% of the median. Native trees and ground covers must allow clear lines of sight. Where the required walkways

cross drives, parking aisles, or other vehicular ways, the crosswalks shall be distinguished from driving surfaces by the use of durable, low-maintenance surface materials such as concrete or brick pavers; or scored, colored concrete.

ii. Paseos

The Mixed-Use District t will have paseos that connects the Residential District to FM 1417. The number of paseos will depend upon the location and size of retail in the Mixed-Use District. Paseos will occur at the end of each multi-tenant retail and along each side of major entrances off FM 1417.

V. BUILDING and LOT STANDARDS

The use and building envelope standards section establishes basic parameters for all land uses, building siting, lot widths, height, stories, and overall densities. Building Typologies for uses permitted or permitted with conditions that are not specified in the following sections shall be proposed to the City in a manner that satisfies the intent of this Planned Development in the defined character of the district in which it is proposed.

A. VILLAGE CENTER ZONE LOT and BUILDING TYPOLOGIES

1. Main Street District

The Main Street District will consist of four building typologies—Multi-family, Residential or office over retail, Retail, and Civic. Each typology will have different building height and coverage limitations and design guidelines. Drive-throughs are not allowed in the Main Street District. (Table 1)

a. Multi-Family

All multi-family buildings within the Main Street District will be a minimum of three (3) stories and a maximum of five (5) stories. A minimum of 30% of the gross floor area on the ground floor shall be retail. A three-story building shall utilize adjacent surface parking. A four- or five-story building will require structured parking for 100% of the building's required parking count.

b. Residential or Office Over Retail

All buildings in the Main Street District will provide retail space on the ground floor. All Main Street District retail buildings may have either residential or office on upper floors. These buildings will be a minimum of two stories and a maximum of three stories.. The entire ground floor level shall be devoted to retail, while floors 2 and 3 may be either residential or office use. These buildings must front Main Street with a maximum building length of 200 feet. Parking is not allowed within the side setbacks.

Buildings within 100 feet of the intersection of Munson Avenue and Main Street may be either Retail or Residential or Office over Retail. Each building shall have a setback of zero feet, with a minimum footprint of 15,000 square feet. An area of at least 15,000 sf at one corner of the intersection of Main Street and Munson Avenue shall be left as open space for a public plaza.

c. Civic

The north end of Main Street may contain a potential Civic building, located to the east of the intersection of Main Street and Travis Street. The civic building should serve as a

landmark in the Village Center and be distinguished by a strong, welcoming architectural style. The front of the building shall have uses that activate Main Street and the public realm. The building may be composed of two to three joined volumes with a ground level loggia or canopy structure along the side of the building facing the sidewalk.

2. Transition District

The Transition District will consist of one building typology—Small in-line retail. The typology may have different building heights but will maintain consistent coverage limitation and design guidelines. Drive-throughs are not allowed in the Transition District.

Small In-line Retail shall consist of connected retail spaces that are a maximum of 100 feet wide and 70 feet in depth.

3. Residential District

The Residential District will consist of two building typologies—multi-family residential and single family attached (townhomes). Drive-throughs are not allowed in the Residential District.

a. Multi-Family Residential

All multi-family apartment buildings within the Residential District will be a minimum of three stories and a maximum of five stories.. A maximum of 30% of the gross floor area on the ground floor may be retail for buildings along West Travis Street and FM 1417 only. A three-story building shall utilize adjacent surface parking. A four- or five-story building will require structured parking.

b. Single Family Attached (Townhomes)

Single family attached townhomes within the Residential District will have a minimum of 2 stories and a maximum of 3 stories. The width of one residential unit shall range from 20-24 feet, and the length shall range from 35-45 feet. Each residential unit shall have two parking spaces of a minimum of 20 feet in length behind the unit. Service drive shall be 20 feet with a 4-foot minimum landscape area between garages. Each building shall consist of a minimum of 4 and a maximum of 6 units.

c. Highway Commercial District

The Highway Commercial District will consist of four building typologies—Large box retail, In-line retail, Single use retail, and Restaurants. Each typology will have different building height and coverage limitations and design guidelines.

a. Large Box Retail

Large box retail stores shall be located at the ends of in-line retail or as a single unattached use.

b. In-Line Retail

In-line Retail shall consist of connected retail spaces that are a maximum of 70 feet in depth. A minimum of five and a maximum of eight retail spaces may be connected in the in-line retail typology. The maximum length of in-line retail shall be 400 feet.

Two large box retail stores with in-line retail in between shall have a maximum length of 800 lineal feet. The total square footage shall not be greater than 300,000 square feet.

c. Single Use Retail

Single use retail shall consist of a maximum of 45,000 square feet. Maximum height for single use retail shall not exceed 30 feet without a variance.

d. Restaurants

Family Style restaurants shall be full service. Drive-throughs are not allowed on family style restaurants. Fast food restaurants shall be a minimum of 1,600 square feet and a maximum of 2,400 square feet. Fast food restaurants are allowed drive-throughs. All fast-food restaurants are required to have a variance.

e. Hospitality

Hospitality shall be full service or limited service provided that the limited service offers internal food and beverage functions.

B. EAST VILLAGE CENTER ZONE LOT and BUILDING TYPOLOGIES

1. Residential District

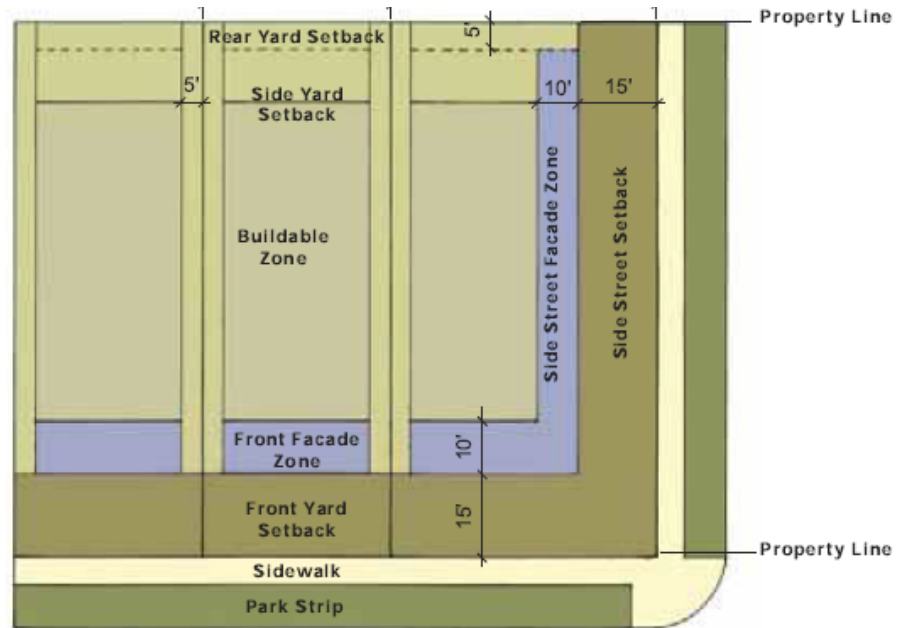
The Residential District will consist of two building typologies—multi-family residential, single family detached and single family attached.

a. Single Family Detached

Single family detached buildings within the Residential District will have a maximum of three stories. Single family detached can be on front or rear loaded lots.

- i. Each lot has a set of setback lines that define the minimum and maximum yard between the house, streets and alleys. There are also zones within the yard where the house should be placed. The Front Porches should be placed within the Front Porch Zone described in the

general conditions for the lot type. The Front Porch Zone is set back from the front property line at a distance defined by the Front Yard Setback. The Front Yard Setback is the area between the Front Yard Setback Line and the front property line.



- ii. On corner lots, a Side Street Porch Zone is established adjacent to the cross street. It is set back from the side street a specific dimension established for each lot type and is defined by the Side Street Setback. The Main body, side wings, garages and fences are placed within this zone.
- iii. The Rear Alley Setback defines the distance between the alley right of way to a built structure. The Side Yard Setback defines the minimum distance between the side property line and the built structure.
- iv. The East Village Residential District has a connected semi-grid of streets connecting all of the lots internal to the district with Moore Street and Travis Avenue. Streets do not connect the Commercial Districts unless proper entry sequence and buffer is detailed in the detailed site plan. Streets are designed to have limited parking within the street rights of way on front loaded streets.
- v. Rear loaded streets allow parking on the proposed alley system behind buildings and a limited amount of designated parking areas on the

street in front of the rear loaded lots. By providing parking in the rear of lots, buildings can sit closer to streets to create a continuous and delightful street wall. The system of streets, alley and mid-block parking helps create a pedestrian friendly environment in a traditional neighborhood form. Some additional visitor parking will be provided in proximity to the community center.

b. Single Family Attached (Townhomes)

Single family attached townhomes within the Residential District will have a minimum of 2 stories and a maximum of 3 stories. Each residential unit shall have two parking spaces of a minimum of 20 feet in length behind the unit. Service drive shall be 20 feet with a 4-foot minimum landscape area between garages. Each building shall consist of a minimum of 4 and a maximum of 6 units.

2. Multi-Family Residential District

All multi-family apartment buildings within the Residential District will be a minimum of three stories and a maximum of five stories.

The ground floor level shall have a floor-to-floor height of 18 feet. A maximum of 30% of the gross floor area on the ground floor may be retail for buildings along West Travis Street and FM 1417 only. A three-story building shall utilize adjacent surface parking. A four- or five-story building will require structured parking.

d. Employment District

The Employment District consists of The following uses:

a. Employment

- i. Corporate Office
- ii. Multi-Tenant Office
- iii. Research and Development
- iv. Assemblage and Manufacturing

b. Medical and Healthcare

- i. Hospitals and Clinics

c. Commercial

- i. In-Line Retail
- ii. Single Use Retail
- iii. Restaurants
- iv. Entertainment

C. WEST RESIDENTIAL ZONE BUILDING TYPOLOGIES

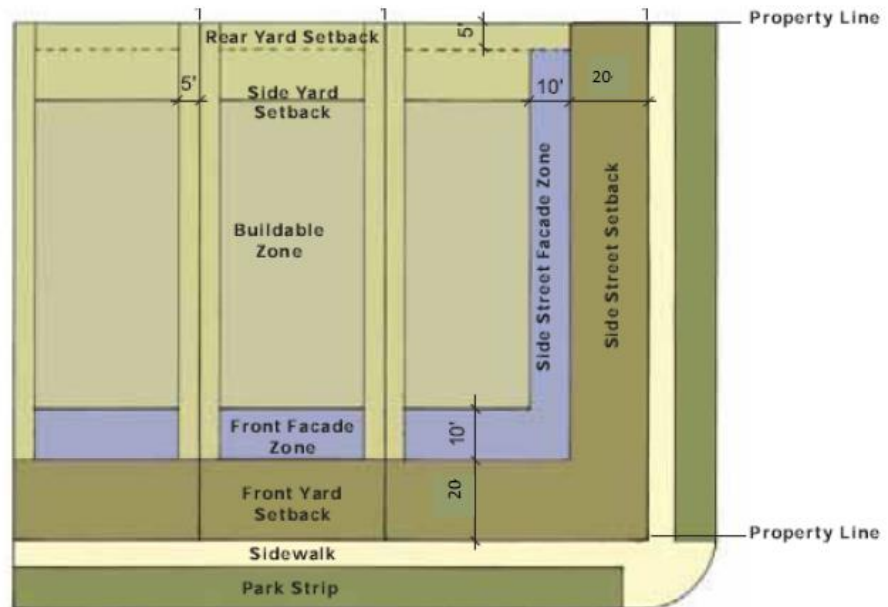
1. Residential District

The Residential District may consist of two building typologies—single family detached and single family attached.

a. Single Family Detached

Single family detached buildings within the Residential District will have a maximum of three stories. Single family detached can be on front or rear loaded lots.

- i. Each lot has a set of setback lines that define the minimum and maximum yard between the house, streets and alleys. There are also zones within the yard where the house should be placed. The Front Porches should be placed within the Front Porch Zone described in the general conditions for the lot type. The Front Porch Zone is set back from the front property line at a distance defined by the Front Yard Setback. The Front Yard Setback is the area between the Front Yard Setback Line and the front property line.



- ii. On corner lots, a Side Street Porch Zone is established adjacent to the cross street. It is set back from the side street a specific

dimension established for each lot type and is defined by the Side Street Setback. The Main body, side wings, garages and fences are placed within this zone.

- iii. The Rear Alley Setback defines the distance between the alley right of way to a built structure. The Side Yard Setback defines the minimum distance between the side property line and the built structure.
- iv. The East Village Residential District has a connected semi-grid of streets connecting all of the lots internal to the district with Moore Street and Travis Avenue. Streets do not connect the Commercial Districts unless proper entry sequence and buffer is detailed in the detailed site plan. Streets are designed to have limited parking within the street rights of way on front loaded streets.
- v. Rear loaded streets allow parking on the proposed alley system behind buildings and a limited amount of designated parking areas on the street in front of the rear loaded lots. By providing parking in the rear of lots, buildings can sit closer to streets to create a continuous and delightful street wall. The system of streets, alley and mid-block parking helps create a pedestrian friendly environment in a traditional neighborhood form. Some additional visitor parking will be provided in proximity to the community center.

2. Mixed Use District

The Mixed-Use District is intended to provide horizontal and vertical mixed use along FM1417. Mixed use may include multi-family residential and multi-family residential with retail provided that retail is on the ground floor. The District may include office provided that the office is a minimum of two floors. The District may include office over retail provided that the mixed use is a minimum of two floors. Single story retail is allowed provided that it does not exceed 15% of a site plan's total proposed building square footage.

The Mixed-Use District will consist of up to seven building typologies that support horizontal and vertical mixed uses along FM 1417. The five building typologies include:

a. Multi-Family Residential

All multi-family residential buildings within the Residential District will be a minimum of three stories and a maximum of five stories. The ground floor level shall have a floor-to-floor height of 18 feet, and levels 2-5 shall have a floor-to-floor height of 10 feet, plus a 36" parapet at the roof level. A maximum of 30% of the gross floor area on the ground floor may be retail for buildings along West Travis Street and FM 1417 only. A three-story building shall utilize adjacent surface parking. A four- or five-story building will require structured parking. Multifamily apartment buildings within the Residential District shall have a front yard setback of 10 feet and a minimum 30-foot side and rear yard setback

b. Multi-Family Residential with Ground Floor Residential

Multi-family residential buildings with retail within the Residential District will be a minimum of three stories and a maximum of five stories. The ground floor level shall have a floor-to-floor height of 18 feet, and levels 2-5 shall have a floor-to-floor height of 10 feet, plus a 36" parapet at the roof level. A maximum of 30% of the gross floor area on the ground floor may be retail for buildings along West Travis Street and FM 1417 only. A three-story building shall utilize adjacent surface parking. A four- or five-story building will require structured parking. Multifamily apartment buildings within the Residential District shall have a front yard setback of 10 feet and a minimum 30-foot side and rear yard setback

c. Multi-Tenant Office

Multi-Tenant Office shall consist of a maximum of 85 feet in depth and a maximum floorplate of 28,000 square feet with a maximum height shall be 45 feet plus a 36" parapet.

d. In-Line Retail

In-line Retail shall consist of connected retail spaces that are a maximum of 70 feet in depth. The maximum height shall be 25 feet plus a 36" parapet. A minimum of five and a maximum of eight retail spaces may be connected in the in-line retail typology. The maximum length of in-line retail shall be 400 feet. The total square footage for in-line retail shall not exceed 28,000 square feet.

e. Single Use Retail

Single use retail shall consist of a maximum of 20,000 square feet Maximum height for single use retail shall not exceed 30 feet without a special use permit.

Hospitality

Amended Village Planned Development – City of Sherman

Hospitality shall be full service or limited service provided that the limited service offers internal food and beverage functions. The building shall be a minimum of 4 floors and a maximum of 7 floors with the ground floor height of 18 feet minimum.

f. Restaurants

Family Style restaurants shall be a minimum of 7,000 square feet and a maximum of 12,000 square feet. Drive-throughs are not allowed on family style restaurants. Fast food restaurants shall be a minimum of 1,600 square feet and a maximum of 2,400 square feet. Fast food restaurants are allowed drive-throughs. All fast-food restaurants are required to have a variance.

Zone	District	Building Type	Lot Standards									Building Standards	
			Density		Coverage	Lot Size		Lot Width	Setbacks			Height	
			Minimum	Maximum	Maximum	Minimum	Maximum	Minimum	Front	Rear	Side	Maximum	Minimum
Village Center	Main Street												
		Multi-Family	30 DUA	60 DUA	60%	1.5 AC	3.5 AC	N/A	0 FT	30FT	30FT	61 FT	41 FT
		Residential over Retail	20 DUA	30 DUA	60%	N/A	N/A	N/A	0 FT	30FT	10 FT	61 FT	41 FT
		Office over Retail	.40 FAR	1.0 FAR	60%	N/A	N/A	N/A	0 FT	30FT	10 FT	61 FT	41 FT
		Retail	.20 FAR	.30 FAR	40%	N/A	N/A	N/A	0 FT	30FT	10 FT	30 FT	25 FT
		Single Family Attached	12 DUA	18 DUA	80%	2,500 SF	3,500 SF	N/A	0 FT	30FT	10 FT	25 FT	40 FT
		Civic	.50 FAR	1.0 FAR	60%	1.0 AC	7.0 AC	N/A	0 FT	30FT	10 FT	30 FT	50 FT
		Hospitality	.40 FAR	.80 FAR	60%	1.0 AC	2.0 AC	N/A	0 FT	30FT	10 FT	61 FT	41 FT
	Transition												
		Retail	.20 FAR	.30 FAR	40%	N/A	N/A	N/A	0 FT	30FT	10 FT	30 FT	21 FT
	Residential												
		Multi-Family	30 DUA	60 DUA	80%	1.5 AC	3.5 AC	N/A	0 FT	30FT	30FT	61 FT	40 FT
		Single Family Detached	10 DUA	16 DUA	60%	3,000 SF	5,000 SF	35 FT	5 FT	30FT	10 FT	25 FT	40 FT
		Single Family Attached	12 DUA	18 DUA	60%	2,500 SF	3,500 SF	24 FT	5 FT	30FT	10 FT	25 FT	40 FT
	Highway Commercial												
		Large Box Retail	.15 FAR	.30 FAR	30%	2.0 AC	12 AC	N/A	50FT	50FT	50FT	35 FT	25 FT
		In-Line Retail	.15 FAR	.30 FAR	30%	N/A	N/A	N/A	50FT	50FT	50FT	30 FT	21 FT
		Single Use Retail	.15 FAR	.30 FAR	30%	1.5 AC	2.5 AC	N/A	50FT	50FT	50FT	30 FT	21 FT
		Restaurants	.15 FAR	.30 FAR	30%	.75 AC	1.5 AC	N/A	50FT	50FT	50FT	30 FT	21 FT
		Hospitality	.40 FAR	1.0 FAR	50%	3.0 AC	5.0 AC	N/A	50FT	50FT	50FT	81 FT	40 FT
East Village													
	Residential												
		Single Family Detached	N/A	N/A	50%	4,000 SF	40 FT	40 FT	20 FT	30FT	10 FT	25 FT	40 FT
	Multi-Family												
		Multi-Family	30 DUA	80 DUA	60%	1.5 AC	N/A	N/A	0 FT	30FT	30FT	61 FT	40 FT
		Single Family Attached	8 DUA	12 DUA	50%	2,500 SF	28 FT	28 FT	0 FT	30FT	10 FT	25 FT	40 FT
	Employment												
		Corporate	.15 FAR	0.25 FAR	25%	3.0 AC	N/A	N/A	50FT	50FT	50FT	81 FT	40 FT
		Multi-Tenant	.15 FAR	0.25 FAR	25%	3.0 AC	N/A	N/A	50FT	30FT	20FT	81 FT	40 FT
		Research/Development	.15 FAR	0.25 FAR	25%	5.0 AC	N/A	N/A	50FT	30FT	20FT	55 FT	31 FT
		Assemblage	.15 FAR	0.25 FAR	25%	8.0 AC	N/A	N/A	50FT	30FT	20FT	35 FT	25 FT
		Medical Office/Clinic	.15 FAR	.50 FAR	50%	.75 AC	N/A	N/A	50FT	50FT	50FT	55 FT	33 FT
		Hospital	.15 FAR	1.50 FAR	25%	15 AC	N/A	N/A	50FT	50FT	50FT	81 FT	41 FT
		Retail	.15 FAR	0.25 FAR	25%	1.0 AC	N/A	N/A	50FT	50FT	50FT	30 FT	21 FT
		Hospitality	.30 FAR	.60 FAR	50%	3.0 AC	N/A	N/A	50FT	50FT	50FT	81 FT	40 FT
West Residential													
	Residential												
		Single Family Detached	N/A	N/A	50%	4,000 SF	15,000 SF	40 FT	20 FT	30FT	10 FT	25 FT	40 FT
	Mixed Use												
		Mixed Use	.30 FAR	1.0 FAR	60%	N/A	N/A	N/A	0 FT	30FT	10 FT	61 FT	41 FT

D. HEIGHT LIMIT EXCEPTIONS (EMPLOYMENT DISTRICTS ONLY)

- (1) Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, and roof forms whose area in plain view is no greater than twenty-five percent (25%) of the first-floor footprint may exceed the height limits by up to twenty (20) feet.
- (2) Mechanical equipment, including mechanical/elevator equipment enclosures, ventilation equipment, chimneys, exhaust stacks and flues, fire sprinkler tanks, and other similar constructions may extend up to twelve (12) feet above the actual building height, provided that:
 - (a) The equipment is set back from all exterior walls a distance at least equal to the vertical dimension that such item(s) extend(s) above the actual building height; or
 - (b) The exterior wall and roof surfaces of such items that are set back less than the vertical dimension above the actual building shall be constructed as architecturally integral parts of the building façade(s).

VI. ARCHITECTURAL STANDARDS

The architectural standards section governs the village center zone and the residential attached and multifamily residential architectural elements and appurtenances related to the façade materials, windows, roofs, service areas and other standards. (Architectural standards are recommended to maintain the consistency of the Village Center unless otherwise agreed to by the property owner and City.)

A. Main Street and Multi-Family Residential

1. Building façade materials

- a. Permitted primary building materials (which must cover not less than 85% of the area of the façade) shall be:
 - (1) Masonry/stone
 - (2) Stucco/plaster
 - (3) Hardie-plank™ equivalent or better siding
 - (4) Other primary building materials shall be required to obtain a special exception as a part of detailed site plan approval
- b. Accent building materials (no greater than 15% of the area of the façade) may be:
 - (1) Pre-cast masonry (for trim and cornice elements only)
 - (2) Gypsum reinforced fiber concrete (for trim elements only)
 - (3) Metal (for beams, lintels, trim elements, and ornamentation only)
 - (4) Split-faced CMU block (only for piers, foundation walls and chimneys)
 - (5) EIFS

2. Building awnings and canopies

- a. Materials, illumination, and location
 - (1) Awnings and canopies shall be architectural and constructed with fully opaque materials that complement the building to which they are attached; provided, however, no shiny or reflective materials are permitted.
 - (2) Awnings and canopies shall not be internally illuminated in a manner that illuminates the awnings or canopy material; provided, however, downward lighting limited to lighting the building façade, sidewalk areas, and seating areas, is permitted to be installed beneath awnings and canopies.

3. Building Roofs

- a. Permitted Roof Materials
 - (1) Architectural asphalt shingles
 - (2) Tile, clay or concrete (faux clay)
 - (3) Slate (equivalent synthetic or better)
 - (4) Metal (standing seam, equivalent or better)
 - (5) Roofing material for flat roofs shall be monolithic Thermoplastic Polydefin (TPO) membrane or equivalent material.
- b. Flat Roofs – roof material interior to the parapet shall not be visible from any adjacent ground-level areas.

4. Building Mechanical, Underground Utilities, and Solid Waste Facilities

- a. Mechanical Equipment
 - (1) Ground level transformers, HVAC equipment, lift stations, utility meters, and other machinery shall be located at the rear of the lot where practical.
 - (2) Roof mounted equipment shall be screened from view from the public space where practical.
- b. All electrical, phone, cable and other similar types of facilities shall be underground except for service boxes which shall be approved at the time of detailed site plan.
- c. Solid waste collection and disposal
 - (1) Location of solid waste facilities shall be approved at time of detailed site plan.
 - (2) Solid waste facilities including trash compactors shall be screened by a masonry wall of a height that is at least one (1) foot above the height of the solid waste facility or trash compactor. Such screening wall shall be built with the same materials as used for the principal building, or an otherwise city approved material.
 - (3) Access to Solid waste facilities shall be provided by a metal gate or door equal in height of the wall and shall remain closed at all times when not being accessed for purpose of disposing solid waste into, or collecting for off-site disposal from, the facility.

B. Townhomes

1. Architectural Diversity

- a. Floor plans and front façades of the same primary building material color for single-family attached residential shall be separated from one another by no fewer than three (3) lots for same floor plans and no fewer than four (4) lots for the same front façade.
- b. No combination of the same masonry color, mortar color, and sand color shall be repeated for single family attached residential buildings located on adjacent lots.

- c. The following list of architectural elements shall be incorporated into façades of single-family attached residential buildings with a choice of at least two (2) different elements occurring no more often than every fourth (4th) lot and be included in the detailed site plan:
- (1) Balcony
 - (2) Front porch (may occur more often than every 4th lot)
 - (3) Chimney
 - (4) Patio courtyard
 - (5) Masonry, stone, or cast stone accents
 - (6) Double entry doors
 - (7) Covered entry
 - (8) Dormers
 - (9) Cedar shutters
 - (10) Natural stone (30% front façade)
 - (11) 10:12 or great roof pitch (may occur more often than every 4th lot)
 - (12) Gables with architecture feature
 - (13) Arch top windows
 - (14) Circle top windows
 - (15) Stained wood columns

2. Building façades

Façade treatments are those portions of a building's street frontage façade elevation extending from the ground to the roof that consists of a single layer or architectural expression.

- a. Residential buildings shall have a finished floor elevation of not less than one (1) foot above the top of the front curb elevation.
- b. Wall openings shall not span vertically more than one story.

3. Building façade materials

- a. Permitted primary building materials (which must cover not less than 85% of each area of the area of the façade) shall be:
 - (1) Masonry/stone
 - (2) Stucco/plaster
 - (3) Hardie-plank™ equivalent or better siding
 - (4) Other primary building materials shall be required to obtain a special exception as a part of site plan approval
- b. accent building materials (which may cover no more than 15% of the area of the façade) may be:

- (1) Pre-cast masonry (limited trim and cornice elements only)
 - (2) Gypsum reinforced fiber concrete (limited to trim elements only)
 - (3) Metal (limited to roofing, beams, lintels, trim elements, and ornamentation only)
 - (4) Split-faced CMU block (but used only for piers, foundation walls and chimneys)
 - (5) EIFS
- c. Calculation of the percentage of the area of permitted building materials on a FAÇADE shall not include:
 - (1) The area occupied by windows and doors (including garage doors); and
 - (2) Other architectural features above the roofline, or areas not in plane with first-floor wall.

4. Building Windows

Windows shall conform to the following:

- a. Window Materials
 - (1) Specialty windows such as stained, opalescent, or glass block shall be permitted in limited amounts but in no case greater than fifteen (15) percent of the total window area of the façade.
 - (2) Solar screens are permitted only on façades not visible from the public space.
- b. Window Configurations
 - (1) The horizontal dimension of the window opening shall not exceed the vertical dimension except as provided in subparagraph b. (2), below.
 - (2) A maximum of five (5) windows may be mulled horizontally together to form a compound window which may be wider than it is tall if each grouping is separated by a mullion, column, pier, or wall section that is not less than seven (7) inches wide.
 - (3) Alterations to these standards may be granted as part of a detailed Site Plan.

5. Building Roofs and PARAPETS

- a. Permitted Roof Materials
 - (1) 30-year dimensional shingles.
 - (2) Tile, clay, or concrete (faux clay).
 - (3) Slate (equivalent synthetic or better).
 - (4) Metal on porches and accent roofs.
 - (5) Roofing material for flat roofs shall be monolithic Thermoplastic Polydefin (TPO) membrane or equivalent material
 - (6) Roofing materials shall have a minimum 30-year rated warranty.

- b. Authorized Roof Configurations
 - (1) Pitched Roofs
Hip and gable roofs shall be symmetrically pitched 8:12 or greater.
 - (2) Flat Roofs
Roof material interior to the parapet shall not be visible from any adjacent ground-level areas.
 - (3) Roofs, Dormers and Chimneys
- c. DORMERS and chimney chases above the roof structure shall be finished with a permitted primary building material
- d. Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior. Finished construction that provides for an exposed prefabricated metal flue piping (other than gas appliance vent stacks required by codes) is prohibited

6. Underground Utilities

All electrical, phone, cable and other similar types of facilities shall be underground except for service boxes which shall be approved at the time of detailed site plan.

C. Employment

Prior to site and building permit requests, architectural building elevations must be approved with the detailed site plan to ensure continuity and consistency of development of the Property.

1. Building Height, Massing, and Scale

- a. The mass and scale of large buildings should be reduced by varying building heights, and/or setbacks, along the front and street side building façades.
- b. Building heights, massing and setbacks should be varied, to define different functions such as offices and warehousing.
- c. Industrial and business park development should be similar in scale and massing to adjacent development and establish a smooth transition between uses. If a different scale for new development is required for functional reasons, the new development should provide a transition between adjacent buildings.
- d. Vertical and horizontal offsets should be integrated within building facades to minimize building bulk.
- e. Techniques that should be used to 'break up' the massing of a building include stepping the building height, furring out walls to create offsets in plane, adding battens or reveals to walls surfaces, and insets or other variations in plan.

2. Building Facades

- a. Long, blank facades should be avoided. More articulation, detailing, and fenestration should be provided on facades visible from major thoroughfares and freeways.

- b. Facades of large buildings visible from a public street should include architectural features such as reveals, windows and openings, changes in parapet heights, color, texture, and material to add interest to the building elevation and reduce its visual mass.

3. Entry Features

- a. Building entries should be clearly identifiable and integrated within the overall building design. Projections, columns, overhangs, enhanced landscaping, vertical architectural features, distinctive materials, and colors should be used to articulate entrances.
- b. Primary building entries should be readily identifiable and well defined through the use of projections, recesses, columns, roof structures, or other design elements.

4. Windows & Doors

- a. Recessed windows, awnings, landscaping, and shading devices to reduce solar heat gain should be used where appropriate.
- b. Window type, material, shape, and proportion should complement the architectural style of the building entry.
- c. Glare-producing reflective glass is discouraged, but tinted glass may be used. The tinted glass should be as clear as possible while still being energy efficient.
- d. Building openings, such as windows and doors, should maintain the proportions and spacing of other openings on the block.
- e. Roll-up doors should be oriented away from public street views and adjacent residential areas to avoid unsightly views and noise emissions beyond the property line.

5. Colors & Materials

- a. A comprehensive material and color scheme should be developed for each site. Material and color variations in multi-building complexes should be complementary and compatible among buildings.
- b. Large expanses of smooth material (e.g., concrete) should be broken up with expansion joints, reveals, or changes in texture, color, and material.
- c. Large expanses of highly reflective surface and mirror glass exterior walls should be avoided to reduce heat and prevent glare impacts on adjacent public streets and properties.
- d. Materials and colors of wall and monument signs should be compatible with the main buildings on the site.
- e. Building walls that may be prone to graffiti should be treated with a graffiti resistant coating, materials that are not conducive to graffiti such as split face block, or extensive landscaping to cover blank walls.
- f. All exterior materials, textures and colors should be appropriate for the architectural style or theme of the building and should contribute towards the quality of the streetscape.
- g. Compatible colors on a single façade, or composition, should add interest and variety while reducing building scale and breaking up plain walls. Light, neutral colors should be used on industrial buildings to help reduce their perceived size. Contrasting trim and color bands can help break up blank surfaces.

6. Building Lighting

- a. The design of the light fixtures and their structural support should be architecturally compatible with the theme of the development.

- b. Lighting fixtures should not have exposed bulbs.
- c. Decorative accent lighting and fixtures above the minimum 1-foot candle illumination levels of surrounding parking lots should be provided at vehicle driveways, entry throats, pedestrian paths, plaza areas, and other activity areas.
- d. Exterior doorways and entries should be fully illuminated to a minimum of one foot-candle over the entire face and frame of the opening.
- e. Wall mounted lights should not extend above the height of the wall or parapet to which they are mounted.
- f. Parking lot lighting standards should be placed so that the illumination spread will not conflict with the growth of trees in required parking lot planters.

7. Roof Forms

- a. Rooflines should include variations to avoid long, horizontal rooflines. Long, horizontal rooflines should be minimized through articulating a building's facade, alternating roof or parapet heights, providing variations in materials and colors, or other appropriate methods.
- b. Depending upon the architectural style of a structure, industrial and business park buildings are encouraged to use decorative roof elements, such as cornices to enhance a building's roof edge.
- c. When sloped roofs are incorporated into a design, equipment wells should be used to continue the existing pitch and roofline.

8. Service Areas & Utilities

- a. Refuse, storage, and equipment areas should be screened from view from adjacent uses.
- b. All installed equipment, electrical rooms, and service rooms should be placed within the footprint of the structure. No equipment of any kind should be visible on the outside of the structure.
- c. All screening devices should be compatible with the architecture, materials, and colors of the building.
- d. Trash enclosures that are visible from upper stories of adjacent structures should have an opaque or semi-opaque horizontal cover/screen to mitigate unsightly views. The covering structure should be compatible with the architectural theme of the site's buildings.
- e. Roof ladders should be located inside the building or be designed to be compatible with the architectural design of the building. Equipment used to retract and store roof ladders should not be mounted to the exterior of the structure.
- f. Refuse storage and loading areas should be located at the rear of the development and screened from public view.

9. Canopies & Awnings

- a. Canopies, awnings, arcades, and overhangs are encouraged over windows and entries along public sidewalks on the ground floor.
- b. Canopies, awnings, and arcades should be designed with respect for the proportions of the building in terms of size, shape, and placement, unless a unique architectural style encourages something different.

- c. Canopies and awnings should fit within individual bays or structural divisions of the building facade rather than extending beyond a single bay unless the building structure dictates an alternative placement.
- d. Use of a continuous awning for the windows on the upper floors is discouraged. Each window, or small grouping of windows, should be articulated with an individual canopy or awning, with awnings extending no more than halfway down the window. The color and style should complement ground-level awnings and canopies on the same building.
- e. Brightly colored awnings should be compatible with the colors used on the main building. Uncolored or light-colored canvas awnings may be appropriate for dark and north-facing facades.
- f. Canopies and awnings should only be internally illuminated where appropriate to the architectural style of the building.
- g. Materials should be of the highest quality such as metal and glass. If canvas material is used, it should be heavy duty and non-reflective, matte finish. Plastic or vinyl canopies should not be used.

10. Signage & Graphics

- a. Signage can be wall-mounted, projecting, combined with awnings, or placed on windows. Hanging signs with projecting lettering are encouraged.
- b. Attached signage should consist of individual letters; cabinet signs are discouraged.

D. Highway Commercial District

1. Entrances.

- a. Standards. Retail buildings 20,000 square feet or greater shall feature multiple entrances to help reduce walking distances from cars, facilitate pedestrian and bicycle access from public sidewalks, and provide convenience. Multiple entrances should be used to mitigate the effect of the unbroken walls and neglected areas that often characterize building facades that face bordering land uses. Retail buildings shall feature entrances that are coordinated with pedestrian networking and public connectivity to and through the entire site.
- b. All sides of a principal building that directly face an abutting public or private right-of-way should feature at least one customer entrance or covered walkway leading to an entrance. Where a principal building 20,000 square feet or greater directly faces more than two abutting public or private rights-of-way, this requirement should apply to a minimum of two sides of the building, including the side of the building facing the primary street, and another side of the building facing a secondary street. Where exterior entrances to the building are not feasible due to internal store operations, real or false windows or similar features may be combined with a covered walkway.

- c. Each principal building on a site shall have clearly defined, highly visible customer entrances featuring no less than three of the following:
 - (4) Canopies or porticos;
 - (5) Overhangs.
 - (6) Recesses/projections.
 - (7) Arcades.
 - (8) Raised corniced parapets over the door.
 - (9) Peaked roof forms.
 - (10) Arches.
- d. Display windows.
 - (1) Architectural details such as tile work and moldings which are integrated into the building structure and design.
 - (2) Integral planters or wing walls that incorporate landscaped areas and/or places for sitting.
 - (3) A specific architectural element proposed by the applicant's architect that is acceptable to the Community Development Director.
 - (4) Where additional stores will be located in the principal building, each such store should have at least one exterior customer entrance, which shall conform to the above requirements.
 - (5) Side or rear walls that face walkways may include false windows and door openings defined by architectural features or similarly proportioned modulations of the wall, only when actual doors and windows are not feasible because of the nature of the use of the building, as determined by the Community Development Director.

2. Facades and Exterior Walls.

- a. Standards. Facades shall be articulated to reduce the scale and the uniform, impersonal appearances of retail buildings that are subject to this chapter, and provide visual interest that will be consistent with the community's identity, character, and scale. The intent is to encourage a more human scale that residents of Ferndale will be able to identify with their community. The resulting scale will ensure a greater likelihood of reuse of structures by subsequent tenants. Facades, exterior walls, and entryways shall provide consistent architectural treatment. Where practical, vertical construction is encouraged for retail and mixed-use developments.
- b. Regardless of building size, all facades greater than 100 feet in length, measured horizontally and visible from public or private streets, pedestrian walkways, public parking lots, or other areas which, in the opinion of the Community Development Director, are now or are likely to be accessed by the public, should incorporate wall plane projections or recesses having a depth of at least three percent of the length of the facade and extending at least 20 percent of the length of the facade. No uninterrupted length of any visible facade shall exceed 100 horizontal feet.
- c. Facades that face public streets should have a variety of arcades, display windows, entry areas, or awnings along no less than 60 percent of their horizontal length, unless the structural integrity of the building is at stake.

- d. All sides of the building should include materials and design characteristics consistent with those on the front. Use of inferior or lesser quality materials for side or rear facades shall be prohibited.

3. Smaller Retail Stores.

- a. Standards.
 - (1) The presence of smaller retail stores gives a center a “friendlier” appearance by creating variety, breaking up large expanses, and exhibiting the variety of the site’s opportunities. Windows and window displays of such stores shall be used to contribute to the visual interest of exterior facades. The standards presented in this section are directed toward those situations where additional, smaller stores, with separate, exterior customer entrances are located in the principal buildings or development site.
 - (2) Smaller retail stores less than 20,000 square feet and located within a regional center complex as a separate building pad shall incorporate into their design structural enhancements similar to the principal structure. This would provide visual consistency and a greater sense of place within the center.
 - (3) Where principal buildings contain additional, separate stores, which occupy less than 20,000 square feet of gross floor area, with separate, exterior customer entrances:
- b. Facades
 - (1) The street level facade of such stores should be transparent between the height of three feet and seven feet above the grade of the walkway for no less than 60 percent of the horizontal length of the building facade for each such store. Windows should include visually prominent sills, shutters, recessed windows, or other forms of framing and shall not contain reflective glass.
 - (2) Standards. Buildings shall have architectural features and patterns that provide visual interest at the scale of the pedestrian, reduce massive visual effects, and recognize local character.
 - (3) Building facades should include a repeating pattern that should include no less than three of the elements listed below. At least one of these elements shall repeat horizontally. Each selected element should repeat at intervals of no more than 30 feet, either horizontally or vertically.
 - a) Color change.
 - b) Texture change.
 - c) Material module change.
 - d) Wall plane change, where the expression of architectural or structural bay is created through a change in plane no less than one foot in width, such as an offset, reveal, or projecting rib.
- c. Roofs.
 - (1) Standards. Variations in rooflines shall be used to add interest to, and reduce the massive scale of, large buildings. Roof features should complement the character of adjoining neighborhoods.
 - (2) Guidelines.

- a) Rooflines should be varied with a change in height every 100 linear feet in the building length.
- b) Parapets, mansard roofs, gable roofs, hip roofs, or dormers shall be used to conceal flat roofs and roof top equipment (such as HVAC units) from public view out to the site perimeter. Alternating lengths and designs may be acceptable.
- c) The average height of parapets should not exceed 15 percent of the height of the supporting wall, nor at any point exceed one-third of the height of the supporting wall.

3) Materials and Colors.

- a) Standards. Exterior building materials and colors comprise a significant part of the visual impact of a building. Therefore, they shall be aesthetically pleasing and compatible with materials and colors used in adjoining properties.
- d. Guidelines.
- 1) Predominant exterior building materials should be constructed with high-quality materials such as:
 - a. Brick masonry
 - b. Wood, large timbers.
 - c. Sandstone.
 - d. River rock and other native stone.
 - e. Tinted, textured, concrete masonry units.
 - f. Transparency elements such as windows, showcases, skylights, and display windows.
 - g. Other similar high-quality building material.
 - 2) Front facades or facades visible from public or private streets or residentially zoned properties should not include the following as the primary building material:
 - (1) Smooth-faced concrete block.
 - (2) Smooth-faced tilt-up concrete panels.
 - (3) Prefabricated steel panels.
 - (4) Highly reflective materials that produce glare are not permitted.
 - 3) Facade colors should be of low reflectance, subtle, neutral colors, blend well with the environment and not cause abrupt changes. The use of high-intensity colors, metallic colors, black or fluorescent colors on the primary facade or wall is prohibited.
 - 4) Building trim and accent areas, not to exceed 15 percent of any single building facade, may feature brighter colors, including primary colors, but neon tubing or the use of other high-intensity lighting is prohibited.

VII. LIGHTING, PARKING AND SIGNAGE STANDARDS

The Lighting, Parking and Signage standards section establishes the standards for public/private space lighting, provision of adequate parking, and compatible signage.

A. Lighting

1. Streetlights

- a. Streetlights shall be installed in accordance with the following:
 - (2) Major streets – spaced a maximum of one hundred and fifty feet (150) feet including one (1) at each intersection.
 - (3) Minor streets – spaced a maximum of one hundred feet (100) feet including one (1) at each intersection.
 - (4) Local streets – lighting shall be at each intersection.
- b. Streetlights shall not cast a perceptively unnatural spectrum of light (such as low-pressure sodium) or project light skyward (dark sky friendly lighting).

c. Village Center Zone lighting

An exterior lighting plan shall be approved as part of the detailed site plan for the village center.

- (1) Site lighting shall be of a design, height, and location to illuminate only the lot on which the light fixture is located unless illumination across lot lines is by a lighting fixture is authorized by the approved lighting plan included in the approved detailed site plan.
- (2) Lighting elements shall not cast a clearly/perceptively unnatural spectrum of light (such as low-pressure sodium). Lighting elements shall be limited to incandescent, metal halide, or halogen type fixtures.
- (3) No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration.

B. Parking

1. Single-Family Residential

- a. Single-family residential detached and attached shall provide a minimum of two (2) garage parking spaces that shall remain usable for parking of two (2) passenger vehicles.
- b. Additional visitor parking (on or off street) shall be provided for single-family residential developments at a rate of one (1) space per four (4) dwellings located within five hundred (500) feet for any single-family residential lot providing parking for less than four (4) vehicles.

2. Multi - Family Residential

- a.** A minimum of 1.46 parking spaces shall be provided for each mid-rise residential unit.
- b.** Additional onsite visitor parking shall be provided for mid-rise residential at a rate of one (1) space per four (4) units.

2. Village Center

- a.** A parking plan prepared by a Texas professional engineer shall be submitted to the City that sets forth how village center uses will accommodate parking demand. The parking plan shall be based on the parking standards set forth herein, or in the absence of a standard for a proposed use, shall be established by the City of Sherman as part of the approved detailed site plan.

- b.** Required parking ratios for village center uses shall be:

- (1) Employment – 1 space per 300 square feet
- (2) Retail – 1 space per 250 square feet
- (3) Restaurant – 1 space per 150 square feet
- (4) Civic – 1 space per 250 Square feet
- (5) Residential above Retail – 1.46 spaces per residential unit
- (6) Office above Retail – 1 space per 250 square feet
- (7) Single Family Attached and Detached – 2 spaces per residential unit

- a.** On street parking

- (1) On-street parallel parking shall be eight (8) feet in depth and twenty-two (22) feet length.
- (2) On-street parking may be counted towards meeting off-street parking requirements if authorized by the approved detailed site plan.
- (3) Except for single family residential lots, a perpetual cross-access easement for vehicle and pedestrian travel as well as cross-easements for parking shall be granted between and among all lots within the Property, as necessary. The cross-access easement may be provided by plat or separate instrument. No other cross-access easements are required.
- (4) Multifamily uses (Dwelling, Condominium and Dwelling, Multi-Family Apartment) must provide a minimum of one (1.6) off-street parking spaces per residential unit.
- (5) Senior independent living uses must provide a minimum of 0.7 off-street parking spaces per dwelling unit or suite.
- (6) On-street parking within 200 feet of a building/use may be counted towards the off-street parking requirement; provided, however, such

use may only be counted once and not counted for multiple uses or buildings. Nothing in this paragraph 4 shall be construed as prohibiting a shared parking agreement from allowing parking spaces to be counted toward the minimum off-street parking requirements for multiple uses or buildings.

- (7) Off-street parking requirements may be satisfied using shared parking agreements, provided that all spaces are located within 800-feet of the building/use being served, measured at the shortest possible distance in a straight line from the building/use to the parking space.
- (8) Private streets may be provided. The pavement and subgrade of all such private streets shall be constructed to public street standards in accordance with the City of Sherman's standard construction specifications for public streets.
- (9) Temporary parking for special events may be approved by the Director of Community Development.
- (10) Angled head-in parking is allowed. Angled parking can only be at 45 degrees if the parking width is 16 feet.
- (11) Streets may be constructed with a minimum 2% cross-slope

3. Signage

a. Plan

- (1) A comprehensive sign plan shall be submitted to the City as part of the detailed site plan.
- (2) Only individual lettering on a village center signage may be internally lit.
- (3) Lettering on awnings and canopies shall be limited to six (6) inches tall located only on vertically hanging fabric at curbside of awning.

b. Prohibited or Limited Signs

- (1) Billboards, off-premises, pole signs, marquees, animated, flashing, or intermittent signs, and roof and painted building façade signs are prohibited.
- (2) Portable or wheeled signs and advertising devices located outside any building shall be prohibited.

VIII.LANDSCAPING STANDARDS

The landscaping section addresses required landscaping at site development. Landscape improvements on private property will be completed by the property owner. Landscaping within the public rights of way is subject to development agreements.

A. Landscaping – Trees

1. Street Trees

- A. Major Streets shall have Street Trees planted within the Parkway with a spacing of no greater than one hundred (100) feet on center measured per Block face or on a project-by-project basis, whichever is the smaller lineal dimension.
- B. Minor and Local Streets shall have Street Trees planted within the Parkway with a spacing of no greater than seventy-five (75) feet on center measured per Block face or on a project-by-project basis, whichever is the smaller lineal dimension.
- C. For on-street parking spaces where bump-outs are utilized for parallel parking, one (1) Street Tree shall be planted in each bump-out.
- D. Street Trees shall be at least three (3) caliper inches in diameter measured four (4) feet above grade and not less than ten (10) feet in height measured from the base of the main trunk showing at grade at time of planting.

2. Village Center Trees

- A. Where the primary structure is located within twenty (20) feet of the front property line, the Village Center use shall be only responsible for planting Street Trees in accordance with standards for Street Trees on Major Streets.
- B. Where the primary structure is located greater than twenty (20) feet from the front property line, the following tree planting shall be required:
 - (1) One tree at least three (3) caliper inches in diameter measured four (4) feet above grade and not less than ten (10) feet in height measured from the base of the main trunk showing at grade at time of planting for each fifty (50) feet of linear Street Frontage, which trees shall be planted within fifteen (15) feet of the front property line.
 - (2) Trees may be planted in groups with appropriate spacing for species.
 - (3) The trees required by this Subparagraph b. shall be in addition to the required Street Trees.

3. SINGLE-FAMILY RESIDENTIAL TREES

A. General

- (1) Required Front Yard Trees shall be in addition to the required Street Trees.
- (2) Required Front Yard Trees shall be at least three (3) inches in diameter measured four (4) feet above grade and not less than ten (10) feet in height measured from the base of the main trunk showing at grade at time of planting.

B. Required Front Yard Trees

- (1) For lots having building setbacks of ten (10) feet or less no Front Yard Trees shall be required.
- (2) For lots having building setbacks of greater than ten (10) feet one (1) Front Yard Trees shall be required.

B. Landscaping – Yards

1. Village Center and Residential Lots

- A.** Required Landscaping shall be approved as a part of detailed site plan approval.

2. Single Family Detached Lots

- A. For lots of widths of forty (40) feet or greater, no fewer than four (4) five (5) gallon shrubs and twelve (12) one (1) gallon shrubs shall be planted.
- B. For lots of widths twenty-five (25) feet and less than forty (40) feet, no fewer than three (3) five (5) gallon shrubs and eight (8) one (1) gallon shrubs shall be planted.
- C. For lots widths less than twenty-five (25) feet, no fewer than two (2) five (5) gallon shrubs and six (6) one (1) gallon shrubs shall be planted.
- D. Single Family Detached lots shall have full sod installed within any portion of the front yard and side yard abutting a street not covered by walkways, driveways, trees, shrubbery, ground cover or planting beds, or other approved landscape materials.
- E. Decorative rocks shall be permitted in limited amounts and within areas between structures where plant material is difficult to maintain.

C. Landscaping – Parking Lots

1. Five (5) linear feet of landscaped evergreen screening at a height of three (3) feet shall be planted between the street right-of-way and the parking area in all parking areas within a parking lot abutting a street.
2. The following interior landscaping shall be planted in off-street, surface parking that contains twenty (20) or more parking spaces:
 - A. Twenty (20) square feet of landscaping for each parking space shall be installed within the paved boundaries of the parking area.
 - (1) Landscaped islands shall be located at the ends of all parking rows and one (1) landscaped island for each twenty (20) parking spaces in a parking row shall be located on the interior of each parking row. The location the landscape islands within parking areas shall be approved as part of the detailed site plan
 - (2) No fewer than one (1) tree, three-inch (3) caliper inch minimum as measured four (4) feet above grade and not less than ten (10) feet in height measured from the base of the main trunk showing at grade at time of planting shall be planted in each parking lot landscaped island.
 - (3) Landscaped islands shall be not less than six (6) feet wide, not less than ninety percent (90%) of the abutting parking space in length and planted with approved ground cover.

- (4) Landscaped areas shall be protected by a raised six (6) inch concrete curb with pavement placed no closer than three (3) feet from the trunk of a tree if no City-approved root barrier has been installed.

D. Landscaping – Fences/Walls

1. Metal fencing shall be ornamental metal, tubular steel or similar material with a consistent design and finished in black.
2. Masonry walls shall be constructed with Masonry materials compatible with adjacent buildings.
3. Wood fencing adjacent to streets shall be board-on-board with capping, pre-stained cedar, with steel posts.
4. Fences and walls exceeding eight (8) feet in height are prohibited except to screen service areas of Village Center..
5. Fence and wall materials and location shall be approved as part of the detailed site plan.
6. Fencing/Walls – Major Streets
7. WOOD fencing along Major and Minor Streets is prohibited.
8. MASONRY walls exceeding two (2) feet in height shall be designed with footings approved by a structural engineer or other appropriately licensed professional.
9. Fences/Walls – Residential
 - A. No fence or wall shall be permitted within front yards except on corner lots, wherein approved ornamental metal fences, not exceeding five (5) feet in height, may be installed within the front yard not serving as the main entry point to the dwelling (i.e., the side yard along the Street).
 - B. On Residential lots abutting or facing a Park/Open Space, only ornamental metal fencing shall be used on the side of the lot facing the Park/Open Space unless another material approved as part of the detailed site plan.
 - C. Fences and walls consisting of materials or placed in locations not otherwise authorized by this Subparagraph may be approved as part of the approved detailed site plan.

E. Landscaping – Irrigation

Permanent automatic irrigation systems shall be designed, installed, and operated for all required landscaping.

F. Landscaping – Completion

1. No certificate of occupancy for any building on any lot may be issued until all required irrigation systems, trees and other plant materials have been installed and/or planted on the lot.
2. Due to on-going drought conditions, the City staff may delay the planting of new landscape materials, in which case, a certificate of occupancy may be issued.
3. In the event of such authorized delay, all landscape materials shall be planted not later than the date provided in the authorization. Failure to install all landscaping by the date set forth in the delay authorization shall be a violation of this Ordinance

VIII. Parks, Open Space and Recreation Standards

The Landscaping, Open Space and Recreation Standards section addresses required landscaping and other recreation amenities.

A. Greenbelt Standards

The Greenbelt is intended to be a City-wide open space with both passive and active recreational uses. The Greenbelt will also contain a storm water ponding feature accommodating stormwater for a portion of this property and the Independent School District. The pond will be designed as an aesthetic feature to enhance the visual aesthetics of the greenbelt and will allow for public access under safe conditions.

1. Hike and Bike Trails, inclusive of a publicly accessible trail head, shall be constructed by the City of Sherman within the Greenbelt Zone in accordance with City specifications, as follows:
 - A. The Greenbelt will contain public accessible trails that allow the community to access the natural greenbelt features of the property.
 - B. The location and size of the trail(s) will be determined by final landscape improvement plans associated with the improvements of Moore Road and detention facilities as determined by preliminary and final improvement plans.
 - C. In general, a 12-foot-wide hike and bike trail shall be constructed along either Moore Road or the east side of the existing gas and power utility easements conjunction with construction of the adjacent streets as shown on the Concept Plan.
 - D. The final location of each trail to be constructed on the Property must be approved by the City prior to commencement of construction of said trail.
2. Civic and Recreational Facilities shall be constructed at no cost to the Owner or Developer within the Greenbelt Character District in accordance with plans and specifications approved by the applicant and approved by the Director of Community Development as follows:
 - A. As part of the Open Space Plan, the Greenbelt shall contain publicly accessible recreational facilities that allow the community to access active recreational and civic based facilities.
 - B. The location and size of civic and recreational facilities will be determined by final improvement plans associated with the improvements of Moore Road.
3. Natural Features. The intent of the Planned Development's Open Space Plan is to preserve as much as the existing natural site features from FM 1417 to Travis Street as a community wide regional open space. Final Greenbelt Preservation will be a function of the mass grading and drainage plan and improvement plans for Moore Road and adjacent areas.

B. Park/Open Space

1. Village Center and Residential
 - A. Village Center uses shall be required to set aside a percentage of lot area for Park/Open Space per Appendix Figure 3 - Parks and Open Space Map.
 - B. Residential shall allocated and develop not less than ten percent (10%) of the lot(s) on which the development is to be constructed to Park/Open Space
 - C. Areas designated as Park/Open Space shall be shown on all approved detailed site plans.
 - D. Park/Open Space shall be maintained by either a property or homeowners association unless it is a City of Sherman public park.

C. Pedestrian Pathway

- A. Pedestrian Pathways shall be twelve (12) feet in width on Major Streets, seven (7) feet in width on Minor Streets, and five (5) feet on Local Streets unless otherwise shown on the street sections.
- B. Pedestrian Pathways shall be installed at all required locations on a lot prior to issuance of a certificate of occupancy of the first building constructed on the lot or, if the issuance of a certificate of occupancy is required, the commencement of the provision of utilities to any building on the

IX. APPENDICES

The Appendices contain: Appendix A – Definitions; Appendix B – Plan Graphics

A. Appendix – Definitions

The following words and phrases as used in this ORDINANCE shall have the following meanings unless the context of such use clearly indicates otherwise. Words and phrases not defined within the Definitions, but which are defined in the City of Sherman Zoning Ordinance shall have the meaning provided such words and phrases in the Zoning Ordinance. Wherever a word or phrases is printed in CAPITAL LETTERS, it is being used as defined herein.

ACCESSORY BUILDING OR STRUCTURE (RESIDENTIAL DISTRICT) – A subordinate building or structure, detached and used for a purpose customarily incidental to the main structure such as a private garage for automobile storage, tool house, lathe or greenhouse as a hobby (no business), home workshop, children's playhouse, storage house, garden shelter or swimming pool, but not involving the conduct of a business.

ACCESSORY USE – A use of land or building or portion thereof customarily incidental and subordinate to the principal use of the land or building and located on the same lot with the principal use; within a RESIDENTIAL DISTRICT this may include a pool, children's play equipment, gazebo, picnic table, etc.

ACCESSORY USE (see USE).

AFFILIATED RESIDENTIAL USE – A use intended for the residents and their guests of a RESIDENTIAL use that includes a leasing office, fitness center, game room, laundry, pool, amenity center and other residential-related services and uses.

AFFILIATED RESIDENTIAL USES (see USE).

ALLEY – A public space or drive which affords secondary means of access to abutting property.

AMENITY CENTER – An OPEN SPACE area developed as a recreational center for the use by VILLAGE residents and their guests that may include pools, hot tubs, meeting rooms, workout spaces, bathrooms, playgrounds and similar uses.

AWNING – A cantilevered, projected or suspended cover over the sidewalk portion of the PUBLIC SPACE. This also includes roof-like coverings, usually of canvas or metal and often adjustable, placed over the sidewalk, windows, or doors to provide protection from sun and rain.

BALCONY – An exterior platform attached to the building FAÇADE extending outward from an interior room located above a GROUND STORY.

BLOCK – An area enclosed by streets and occupied by or intended for buildings; or if said word is used as a term of measurement, it shall mean the full length along the street

between the intersection of two streets.

BUILDING HEIGHT – For VILLAGE CENTER and MID-RISE uses, BUILDING HEIGHT is measured in STORIES; for SINGLE-FAMILY

BUSINESS SERVICE USE – Establishments primarily engaged in rendering services to business establishments on a fee or contract basis, including but not limited to advertising and mailing; building maintenance; employment service; management and consulting services; equipment rental and leasing (does not include outside storage or heavy construction equipment); commercial research; development and testing; photo finishing; and supplies services.

CANOPY – An architectural projection of canvas or similar material that provides weather protection over an area and is supported by the building to which it is attached and at the outer end by not less than two posts.

CITY – The City of Sherman, Texas.

CIVIC BUILDING – Publicly- or privately-owned buildings that are open to the public for non-COMMERCE purposes.

CIVIC USE – Community uses including meeting halls; libraries; schools (kindergarten through college); police and fire stations; post offices (retail operations only, no primary distribution facilities); places of worship; museums; cultural, visual and performing art centers; transit centers; government functions open to the public; and other similar uses.

COMMERCIAL INDOOR AMUSEMENT (see USE).

COMMERCIAL INDOOR AMUSEMENT USE – Commercial establishments wholly contained within a building that provide amusement, entertainment or games of skill for a fee or admission charge including, but not limited to, billiards, bowling, video or game arcades, movie theaters, and skating rinks.

CONCEPTUAL PLAN – Proposed land uses as shown on the CONCEPTUAL PLAN.

DETAILED SITE PLAN – A site plan approved by the City of Sherman.

DEVELOPMENT DISTRICTS

DORMER – Small, roofed ancillary structures with windows providing light and air to habitable space within the roof.

EXTERIOR INSULATION AND FINISH SYSTEM or “EIFS” - a no-load bearing, exterior wall cladding system that consists of an insulation board attached either adhesively or mechanically, or both, to the substrate; an integrally reinforced base coat; and a textured protective finish coat.

FAÇADE – Exterior building face.

FENESTRATION – Openings in the building wall allowing light and views between interior and exterior measured as glass area.

FRONT SETBACK LINE – The line at which the building FAÇADE shall be located adjacent to

or behind.

FRONT YARD TREE (see TREE, FRONT YARD). HEIGHT (see BUILDING HEIGHT)

HOTEL, FULL SERVICE – An establishment offering temporary lodging facilities consisting of regular rooms or suites suitable for short-term stays with one or more restaurants and lounges, food and beverage catering, conference meeting rooms, recreational amenities and STRUCTURED PARKING.

HOTEL, LIMITED SERVICE – An establishment offering temporary lodging facilities consisting of regular rooms or suites suitable for short-term stays that may offer a business center, pool/whirlpool, workout room, a meeting room and a lobby marketplace for snacks and beverages; the establishment may offer restaurant services geared to primarily hotel guests.

LOT COVERAGE – The percentage of the total area of a lot occupied by the base (first story or floor) of buildings located on the lot or the area determined as the maximum cross-sectional area of the building; eaves, drives, uncovered patios/porches, sidewalk and similar improvements are excluded from LOT COVERAGE computations.

LOT LINE – The lines bounding a lot.

LOT WIDTH – The width of the lot as measured at the FRONT SETBACK LINE.

LOT, CORNER – A lot that is bounded by intersecting STREETS.

MAJOR STREET (see STREET, MAJOR).

MASONRY/STONE – Defined as construction material three (3) inches or thicker composed of natural stone, kiln fired clay brick, decorative concrete block or other similar masonry material approved by the CITY'S BUILDING OFFICIAL..

MINOR STREET (see STREET, MINOR).

OFFICE BUILDING – A building used to house OFFICE USES.

OFFICE USE – Includes, but are not limited to lawyers, engineers, architects, landscape architects, accountants, insurance agencies, economic consultants, general business offices, or other similar professions.

PARAPET – A low wall projecting from the edge of a platform, terrace, or roof.

PARAPET HEIGHT – Where used to limit building height, PARAPET HEIGHT is the distance measured at the top of the parapet, including any coping.

PARK (see OPEN SPACE).

PARK/OPEN SPACE – Land and water designed for active and/or passive recreational enjoyment, but also including small vegetative spaces, flood plains, AMENITY CENTERS, development entries, PEDESTRIAN PATHWAYS; areas located within a SINGLE-FAMILY RESIDENTIAL LOT or within a public right-of-way shall not be considered PARK/OPEN SPACE.

PARKWAY – An area located immediately between the street curb and sidewalk in which STREET TREES and streetlights and other such infrastructure are placed.

PEDESTRIAN PATHWAY – A paved walkway/sidewalk that provides pedestrian access

throughout a community to VILLAGE CENTER and RESIDENTIAL uses; PEDESTRIAN PATHWAYS are not considered appropriate for bicycle use.

PERSONAL SERVICE USE – Establishments primarily engaged in providing services involving the care of a person or his or her apparel, including laundry, cleaning and garment services, garment pressing, coin operated laundries, beauty shops, barber shops, shoe repair, reducing salons and health clubs, clothing rental, doctors, dentists, chiropractors, veterinarians, etc.

PLANNING AND ZONING COMMISSION – The Planning and Zoning Commission of the City of Sherman, Texas.

PUBLIC SPACE – The public domain commonly referred to as the public STREETS, ALLEYS and rights-of-way but can include travel lanes, parkways, PEDESTRIAN PATHWAY, and PARK/OPEN SPACE.

REAR LOT LINES – Lot lines located at the rear of the property and often abutting ALLEYS. RESIDENTIAL intended for a mix of DETACHED and ATTACHED RESIDENTIAL.

RESIDENTIAL USE – A range of housing uses that encompass SINGLE-FAMILY and MID-RISE uses, and SENIOR/ASSISTED and/or SKILLED NURSING HOME FACILITIES. RESIDENTIAL uses, BUILDING HEIGHT is measured from the existing grade to the midpoint of a gabled roof line or the top of the PARAPET or mansard roof.

RESIDENTIAL, MID-RISE – A multi-storied residential building containing multiple separate housing units above one another for residential purposes within one building or complex, commonly referred to as “apartments;” this definition does not include a HOTEL or any short-term stay facility (stays of less than six months).

RESIDENTIAL, SINGLE-FAMILY – A residential dwelling occupied by persons living as a single household unit but does not include MID-RISE RESIDENTIAL.

RESIDENTIAL, SINGLE-FAMILY ATTACHED – A SINGLE-FAMILY RESIDENTIAL use constructed in a group of two (2) or more attached units separated by property lines in which each unit extends from foundation to roof.

RESIDENTIAL, SINGLE-FAMILY DETACHED – A free-standing, SINGLE-FAMILY RESIDENTIAL use occupying a single lot not sharing any walls in common with adjacent SINGLE-FAMILY RESIDENTIAL use.

RETAIL SERVICE USE – Establishments providing services, as opposed to products, to the general public, including restaurants, FULL-SERVICE HOTELS, finance, real estate and insurance, travel agencies, health and educational services, and galleries.

RETAIL SPECIALTY USE – Include, but are not limited to the sale of gifts, antiques, flowers, books, jewelry, wearing apparel or craft shops making articles exclusively for sale at retail on the premises.

RETAIL TRADE USE – Establishments engaged in selling new goods or merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods. Establishments primarily engaged in the selling of used goods or

merchandise are specifically excluded.

SCHOOL, COLLEGE OR UNIVERSITY – An academic institution of higher learning, accredited or recognized by the State and offering a program or series of programs of academic study.

SCHOOL, PRIMARY OR SECONDARY – A school operated by an independent school district, religious entity or private corporation providing a kindergarten, elementary and/or secondary curriculum.

SENIOR/ASSISTED LIVING FACILITY – A residential living facility for older adults that may include independent living arrangements designed exclusively for seniors, generally those 55 years or older, to live independently within an apartment-style facility or freestanding home; it may also include, as an ACCESSORY USE, living facilities that offer a larger range of services for residents as their level of care expands, as long as the resident does not need skilled 24-hour nursing care.

SKILLED NURSING HOME FACILITY – State-licensed long-term care residential living facility offering 24-hour medical care provided by registered nurses, licensed practical nurses and/or certified nurse assistants for residents who are totally dependent on nursing care or short-term rehabilitation between hospital and home.

STORY – That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above. It is measured as the vertical distance from top to top of two successive tiers of beams or finished floor surfaces and, for the topmost story, from the top of the floor finish to the top of the ceiling joists or, where there is not a ceiling, to the top of the roof rafters.

STORY, GROUND – The first level of a building at or above grade.

STREET – A public thoroughfare used for vehicular traffic usually within dedicated right-of-way; this definition does not include ALLEYS, CITY fire lanes, driveways, or access aisles or easements.

STREET FRONTAGE – That portion of the lot or building that is coincident with the FRONT SETBACK LINE.

STREETLIGHT – A luminaire installed on both sides of a STREET within the public right-of-way.

STREET TREE (see TREE, STREET).

STREET, LOCAL – A STREET having two travel lanes with rights-of-way sixty (60) feet or less.

STREET, MAJOR – A STREET having four or more travel lanes with rights-of-way greater than seventy (70) feet.

STREET, MINOR – A STREET having three or less travel lanes with rights-of-way exceeding sixty (60) feet but not exceeding seventy (70) feet.

STUCCO/PLASTER – Stucco/Plaster material shall only be considered as meeting the masonry requirement when applied using a 3-step process over diamond metal lath mesh to a 7/8-inch thickness or by other processes producing comparable cement stucco finish

with equal or greater strength, durability and fire resistive specifications.

STUDIO USE – Includes, but is not limited to dance, art, music, photography, radio or television and specifically excluding any type of sexually oriented business.

TREE, FRONT YARD – A tree planted in a front yard area.

TREE, STREET – A tree planted in the PARKWAY.

VILLAGE CENTER – [Project Name Here] Center.

VILLAGE CENTER /MID-RISE RESIDENTIAL DISTRICT– Land designated on the DEVELOPMENT DISTRICT MAP as

VILLAGE CENTER BUILDING – Any building used for a VILLAGE CENTER USE.

VILLAGE CENTER BUILDING – Any building used for a VILLAGE CENTER USE.

VILLAGE CENTER USE – Any use that is defined herein as a BUSINESS SERVICE, OFFICE, PERSONAL SERVICE, RETAIL SERVICE, RETAIL SPECIALTY, RETAIL TRADE, and STUDIO uses but specifically excluding any uses prohibited by this ORDINANCE.

VILLAGE CENTER USE (see USE).

VILLAGE CENTER/MID-RISE intended for more flexible development standards allowing for VILLAGE CENTER uses ranging from single lot projects such as big-box stores and hotels to larger-scale shopping centers and business centers as well as MID-RISE RESIDENTIAL uses.

VILLAGE-TRADITIONAL RESIDENTIAL DISTRICT – Land designated on the DEVELOPMENT DISTRICT MAP as

ZONING ORDINANCE – The Zoning Ordinance of the City of Sherman, as amended

Figure 1 - Conceptual Master Plan



Figure 2 -Transportation Plan



Figure 3 – Open Space Plan

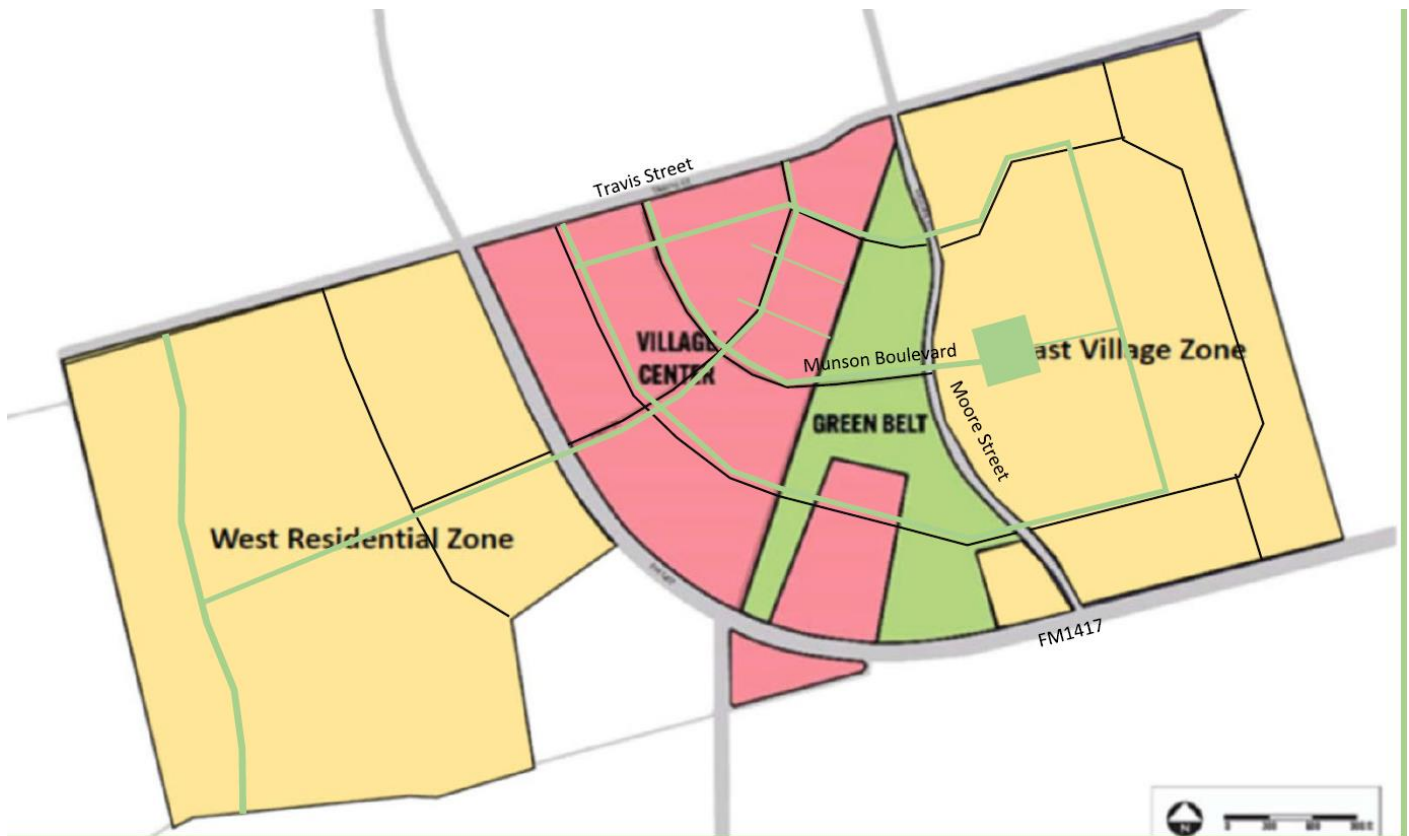


Figure 4 – Village Center Districts

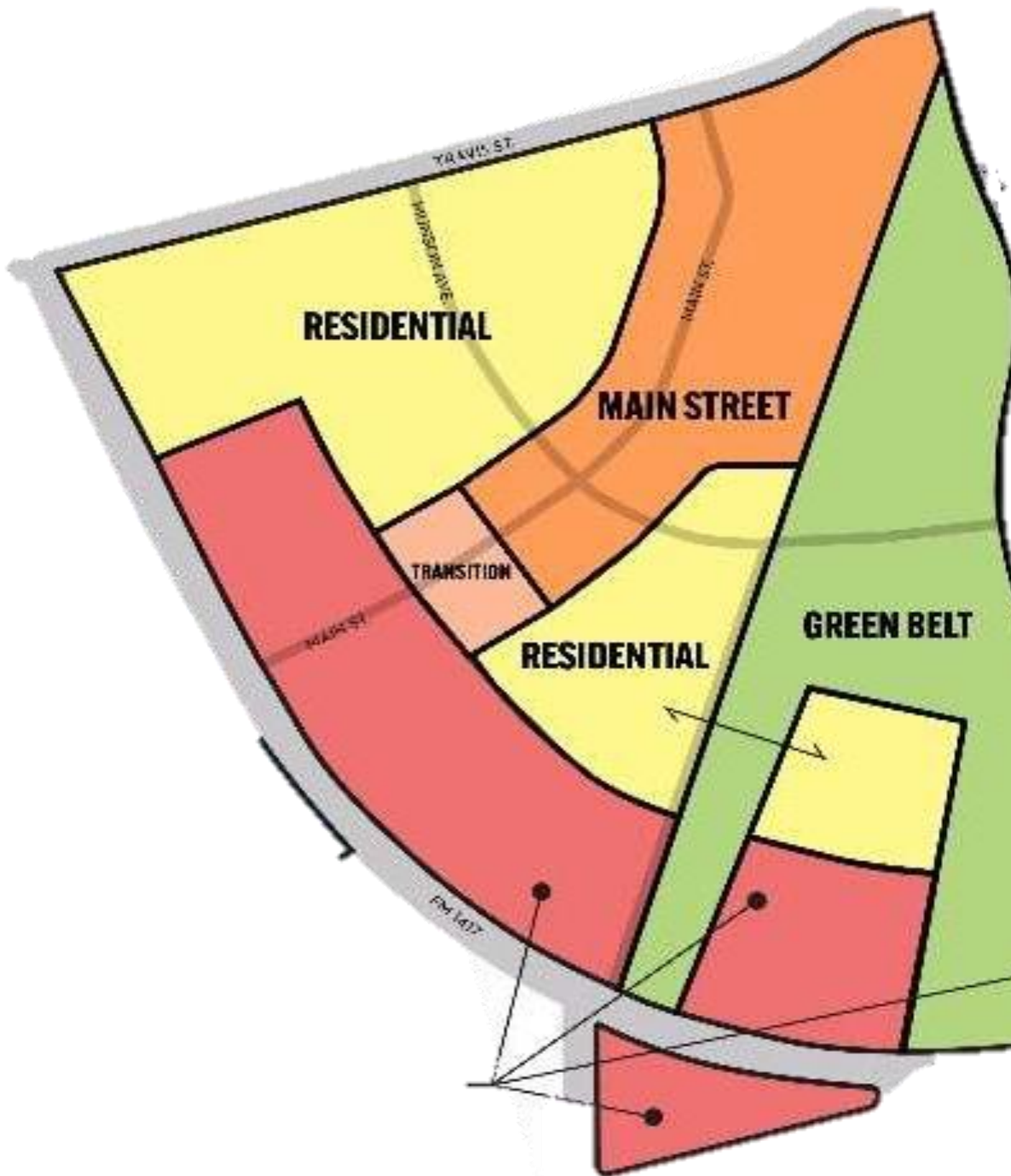


Figure 5 – East Village Districts

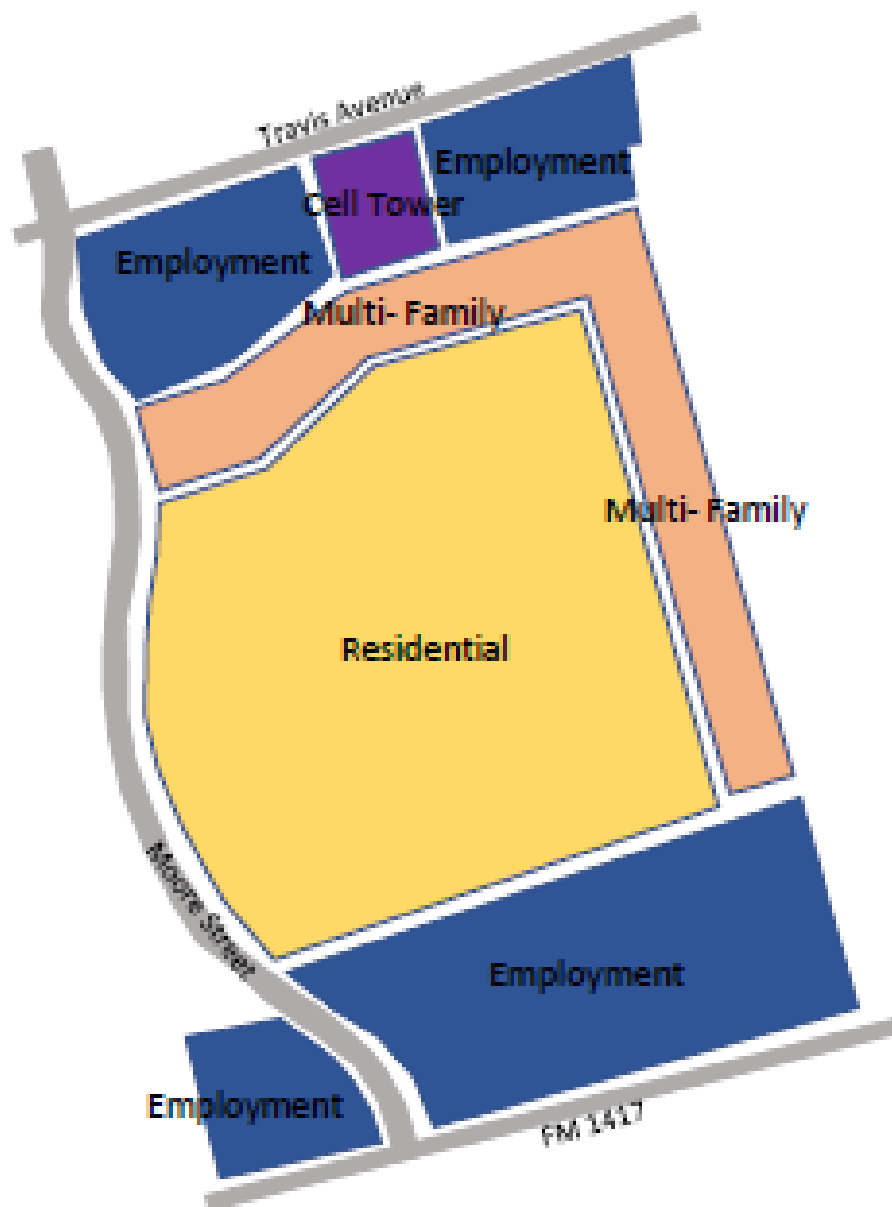


Figure 6 – West Residential Districts

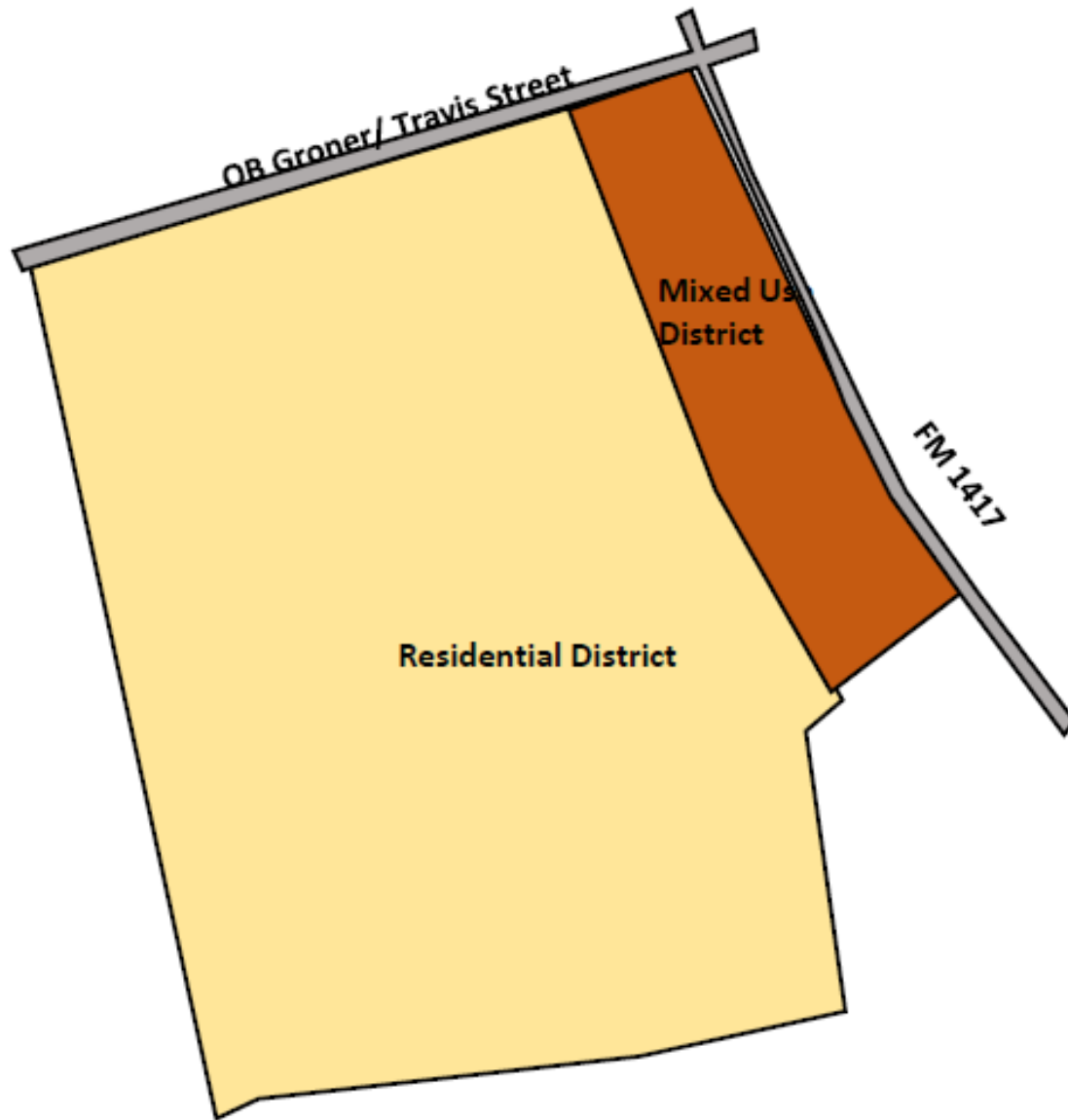


Figure 7 – Greenbelt



