

Shepherd's Place

Sherman, Texas

Development Plan



Contents

Development Plan

Attachment A	Architectural Standards – Commercial, Office, Medical
Attachment B	Architectural Standards – Retail, Entertainment, Restaurant
Attachment C	Architectural Standards – Flex Residential and Multifamily
Attachment D	Architectural Standards – Single Family Residential
Attachment E	Landscape Standards

Exhibit A	Conceptual Plan
Exhibit B	Open Space Guidelines Plan
Exhibit C	Transportation Master Plan
Exhibit D	Local Street
Exhibit E.1 and E.2	Residential Collector
Exhibit E.3	Commercial Collector
Exhibit F.1 and F.2	Minor Arterial and Major Arterial
Exhibit G	Site Summary Table

Shepherd's Place
Sherman, Texas

DEVELOPMENT PLAN

Shepherd's Place Development is a master planned commercial and residential development and community of approximately 532 acres located in Sherman, Texas (the "Development"). The Multi-Use Development offers a variety of residential, mixed use, and commercial offerings which are complimented with land areas for parks, waterways, and OPEN SPACE amenities. The Use and Development Standards herein set forth standards which encourage development with a compatible mix of uses along with well designed vehicular and pedestrian access and links, and building layout. Natural site features provide a development canvas for interesting and unique opportunities.

A. DEVELOPMENT OBJECTIVES

1. The objectives establishing the Shepherd's Place Development Plan (DP) are as follows:
 - a. Ensure compatibility of new construction with the existing scale and characteristics of surrounding properties.
 - b. Protect and enhance specific land features which have characteristics distinct from lands and structures outside this DP.
 - c. Provide within Shepherd's Place a combination of land uses arranged and designed in accordance with sound site planning principles and development techniques; and in such a manner as to be properly related to each other, the immediate surrounding area, the planned mobility system, and other public facilities, such as water and sewer systems, parks, and utilities.

B. REGULATIONS

1. Unless expressly stated or identified within this Ordinance, the regulations, requirements, standards and other provisions of the City of Sherman's Zoning Ordinance, as it exists or may be amended and any successor ordinance thereto (the "Zoning Ordinance"), shall apply to the development and use of the Property. If there is a conflict between the provisions of this Ordinance and those of the Zoning Ordinance, this Ordinance controls.
2. Architectural, Landscape Design, and Development Standards are established to effectuate the purpose of the DP. The City rules and regulations applicable to the development of property in the DP are applicable, except as otherwise provided by this DP and further restricted or excepted herein.
3. The DP may be developed in phases. If the common features and amenities for future phases, including but not limited to roadways, OPEN SPACES, landscaping and/or recreational facilities are not yet constructed; a phasing plan may be considered as a component of the final plat. If provided, a phasing plan shall contain a graphic and narrative document that indicates the sequence of construction, provides a description of the phasing order and includes infrastructure requirements for each phase, as amended from time to time with approval of the DIRECTOR.

C. DEFINITIONS

Words shown throughout this Development Plan (DP) document in all UPPER CASE LETTERS are defined in this Section.

1. **AMENITY CENTER:** A facility used by and for the benefit of the members of an HOA, Common Ownership Entity, or Multifamily complex. AMENITY CENTERS may include indoor and outdoor components and facilities including, but not limited to; pools, gym/fitness center, game rooms, offices, meeting rooms, and lounges.
2. **AGE RESTRICTED MULTI-FAMILY:** Multi-Family development whose residents are restricted to those age 51 and over.
3. **BIG HOUSE:** A type of residential development where 10 or fewer dwelling units are located in a single building which is intended to resemble a single large house. The dwelling units can be vertically or horizontally integrated. Dwelling units developed as a BIG HOUSE use will count towards the total number of multi-family dwelling units and not toward the total number of single-family dwelling units allowed in Shepherd's Place.
4. **CONTINUING CARE RETIREMENT CENTER:** A facility that integrates multiple senior living options into 1 facility which may include skilled nursing, assisted living, dementia care, as well as independent living. This use is not considered a multi-family dwelling unit. (Ordinance No. 2007-110).
5. **CONVENTION CENTER:** A facility used in connection with a convention or meeting center, or similar facility, including auditoriums, exhibition halls, facilities for food preparation and service, parking facilities, administrative offices and ancillary development such as a hotel.
6. **COTTAGE STYLE HOME:** One or two story residential home, with one, two, or three bedrooms in a residence. Buildings are separated by landscaping or a sidewalk. Size from 625 sq. ft. to 1,650 sq. ft. Enclosed homes share landscaping, OPEN SPACE, and parking area.
7. **DENSITY:** Where DENSITY is stated on a units/acre or building area compared to land area, the land area is net of any detention area, flood plain, future R.O.W., or trail system.
8. **DEVELOPMENT AREA:** Areas of the DP generally grouped by type of use, as depicted on Exhibit A – Conceptual Plan.
9. **DIRECTOR:** The DIRECTOR of Development Services for the CITY or his/her designee or the City Manager if such position is vacant, no longer exists, or is terminated by the CITY.
10. **GARDEN-STYLE HOME:** A single-family dwelling on a separate lot with building setbacks only on 3 sides commonly developed in a cluster formation. This development type is also known as Zero lot line homes or Patio Homes.
11. **KIOSK:** A small freestanding enclosure (with or without a solid roof) where goods, food, or services are sold. KIOSK may be up to 600 sq. ft.
12. **MICROBREWERY:** A combination retail, wholesale, and/or manufacturing business that brews and serves beer and/or food.
13. **OPEN SPACE:** OPEN SPACE includes all surface areas of the project that are not covered with enclosed buildings, parking and drive areas. Landscaped areas, Pedestrian plazas, sidewalks (covered or uncovered) pools, trails, and playgrounds count as OPEN SPACE. In addition, areas such as easements or rights-of-way, that may be owned or controlled by a governmental agency, but that are being maintained privately, will count towards the OPEN SPACE and landscape area requirements.
14. **PLAZA OR PUBLIC AREA SPACE:** An area identified on an approved Site Plan which is designated for public or civic use. This area can be part of a private development or included within a park.
15. **PRIVATE CLUB:** An establishment providing social and/or dining facilities which may provide alcoholic beverage service, to an association of persons, and otherwise falling within the definition of, and permitted under the provisions of the applicable regulations in the Texas Alcoholic Beverage Code, that pertains to the operation of PRIVATE CLUBS.

16. **QUICK VEHICLE SERVICE:** An automobile service center offering oil change, tune up, tires, brakes, and other minor auto services. Body work is not included.
17. **STORMWATER CONTROL AND/OR DETENTION AREAS:** Facilities dedicated to the collection, or transportation of stormwater runoff.
18. **STORM WATER QUALITY AREAS:** Facilities for the collection and treatment of storm water runoff.
19. **SUBZONE:** A contiguous area generally greater than 5% and less than 50% of the DEVELOPMENT AREA, located within a DEVELOPMENT AREA that may include a common building type or theme. The location of a SUBZONE may be indicated on a detailed site plan
20. **TOWNHOUSE:** A dwelling structure not to exceed 3 stories in height, containing a minimum of 3 and maximum of 8 dwelling units within a building, which is constructed in a series or group of attached unit buildings on 1 lot, meeting fire protection requirements.
21. **TRADE DRESS:** Includes tenant identification signage, materials, entry treatments and Architectural features, if it is part of national identity for the Tenant. TRADE DRESS will include the Tenant's logo and identifying colors. These colors do not have to match the Architectural color palette. TRADE DRESS must fit within the approved façade of the building in which the Tenant will operate. TRADE DRESS elements may extend beyond the façade of the building if attached to the façade. Wall signage may be incorporated into the TRADE DRESS and cannot exceed 25% of the total area of the façade. If the building is a corner building, or a freestanding building, then the Tenant is allowed to have TRADE DRESS on all facades visible to customers.

D. COMPONENTS OF THE DEVELOPMENT PLAN

1. Conceptual Plan (Exhibit A)
 - a. Development within Shepherd's Place shall conform to the adopted Concept Plan attached to these regulations. The Concept Plan is intended to be used as the first step in the development process. The Concept Plan establishes the initial plan for general zoning guidelines in the DP by illustrating in graphic form both internal and external streets, thoroughfares, other means of access, OPEN SPACES, natural resources, uses, densities and intensities.
2. Site Plan (Future Individual Parcel Submittal)
 - a. Site Plans are intended to demonstrate and confirm that each phase of development moving towards construction complies with all of the design requirements of this Ordinance and the applicable portions of the Sherman Code of Ordinances. Site Plans shall conform to the Concept Plan. The following requirements shall apply for non-residential developments (including multifamily):
 - 1) The DP may be developed in multiple phases. If the DP is developed in phases, a site plan shall be approved for each phase. However, this section does not preclude the approval of an overall Site Plan for the entire DP, or a substantial portion of the DP, at the option of the Property Owner.
 - 2) Site Plans shall be approved by the Planning and Zoning Commission.
 - 3) Complete site plans shall confirm the zoning details previously approved in the Concept Plan as well as provide additional design and architectural standard details by illustrating in a graphic form with both site plans and concept building elevations.
 - 4) The Site Plan provides for the design and arrangement of driveways and parking spaces in accordance with the applicable requirements.
 - 5) The site plan provides for or confirms that there are adequate utilities, drainage and supporting infrastructure or it shall be provided in accordance with the applicable requirements.

3. OPEN SPACE Guideline Plan (Exhibit B)
 - a. This Plan depicts the general location of park, OPEN SPACE, and pedestrian and trail amenities. These locations and alignments relate to future roadways and possible divisions of land use types, along with probable utility easements or ROW. These locations will be coordinated with a well-planned pedestrian connection system. The waterways and adjacent space are formed in part due the existing topography and drainage patterns.
 - b. The exact location of each OPEN SPACE and trail shall be determined at the time of platting, but shall follow the layout identified in the OPEN SPACE Guideline Plan.
4. Transportation Master Plan (Exhibit C)
 - a. This Master Plan defines the general location and type of vehicular transportation routes. These locations relate to future streets and roadways being planned and constructed. These roadways are planned to align with other existing adjacent roads per the current City of Sherman Thoroughfare Plan. The goal of the Shepherd's Place DP is to create a transportation network that allows proper mobility within this site along with connectivity to adjacent transportation networks into Sherman.
 - b. The exact locations of the access points into the Development from public thoroughfares and the exact layout and design of internal streets within the Development shall be determined at the time of platting, but shall follow the Transportation Master Plan.
5. Land Use Requirements
 - a. This DP is divided into DEVELOPMENT AREAS as identified in the Concept Plan. Each DEVELOPMENT AREA is intended to allow for the development of unique and complimentary uses to the other DEVELOPMENT AREAS. The following uses are the allowable (permitted) uses for each DEVELOPMENT AREA. No other uses shall be permitted.
6. Site Requirements
 - a. The Site Development Standards section establishes the standards for public realm improvements, street types, widths, amenities and public spaces.
7. Architectural Requirements
 - a. The Architectural Standards section governs the commercial, residential, entertainment and OPEN SPACE for architectural elements and appurtenances related to the facade materials, roofs, service areas and other building standards.
- E. PERMITTED USES:

The following uses are allowed as a matter of right.

 1. Commercial/Retail/Restaurant/Entertainment Area.
 - a. Accessory Structure
 - b. Agriculture
 - c. Amusement Services
 - d. Animal Hospital
 - e. Assisted Living Facility / Memory Care
 - f. Auditorium
 - g. Auto Repair
 - h. Auto Service Station / Gas Station / Convenience Store
 - i. Bank / Financial
 - j. Bed and Breakfast
 - k. Car Wash
 - l. Childcare Facility
 - m. Church/Place of Worship

- n. Cinema
 - o. Civic Center
 - p. Community Service
 - q. Dance Studio
 - r. Drive-thru Facilities
 - s. Educational Facilities
 - t. Entertainment - Indoor and Outdoor
 - u. Exhibition Hall
 - v. Food Hall
 - w. Fitness Center
 - x. Fraternal Organization, Lodge, Civil Club, or Union
 - y. Garden Center with Plant Materials and Garden Supplies
 - z. Hospital
 - aa. Hotel / Motel
 - bb. Indoor Recreation
 - cc. KIOSK
 - dd. Library
 - ee. Light Industrial Uses listed in M-1 District in Designated Area Only (indicated on Exhibit A)
 - ff. Manufacturing Business in Designated Area Only (indicated on Exhibit A)
 - gg. Market (public)
 - hh. Medical Office / Service / Surgery Center
 - ii. MICROBREWERY
 - jj. Office
 - kk. Open Professional Services and Offices
 - ll. Outdoor Recreation
 - mm. Parks/Playgrounds and OPEN SPACE
 - nn. Pet Sales, Grooming, Boarding
 - oo. Post Office
 - pp. PRIVATE CLUB
 - qq. Professional Services
 - rr. Public Garage/Parking Structure
 - ss. QUICK VEHICLE SERVICING
 - tt. Restaurant (may sell alcohol if licensed)
 - uu. Restaurant with Drive-Thru (may sell alcohol if licensed)
 - vv. Retail Construction Materials Sales
 - ww. Retail Sales and Services
 - xx. School
 - yy. Seasonal Uses
 - zz. Service Business
 - aaa. Sports Arena – Indoor and Outdoor
 - bbb. Storage
 - ccc. Telemarketing
 - ddd. Temporary Outdoor Display, Sales, Public Performance
 - eee. Theaters (enclosed and drive-in – film or live performance)
 - fff. Utilities (public)
 - ggg. Veterinarian Clinic
 - hhh. Wholesale Sales
2. Residential Area.
- a. Accessory Dwelling
 - b. Accessory Structures and Garages
 - c. Assisted Living Facility / Memory Care
 - d. Church/Place of Worship

- e. Community Service
 - f. Dwelling, COTTAGE HOME
 - g. Dwelling, GARDEN STYLE Home
 - h. Dwelling, Single Family
 - i. Dwelling, two, three or four family (duplex, triplex, or fourplex)
 - j. Educational Facility
 - k. Outdoor Recreation
 - l. Park/Playground
 - m. Post Office
 - n. School (K through 12)
3. Flex Residential Area.
- a. Accessory Dwelling
 - b. Accessory Structures
 - c. Assisted Living Facility / Memory Care
 - d. Childcare Facility
 - e. Church/Place of Worship
 - f. Community Service
 - g. Continuing Care Retirement Community
 - h. Convalescent and Nursing Home
 - i. Dwelling, COTTAGE HOME
 - j. Dwelling, GARDEN STYLE Home
 - k. Dwelling, Multifamily
 - l. Dwelling, Single Family
 - m. Dwelling, TOWNHOUSES
 - n. Dwelling, two, three or four family (duplex, triplex, or fourplex)
 - o. Educational Facility
 - p. Family Home (BIG HOUSE)
 - q. Hotel / Motel
 - r. Independent Senior Living Facility
 - s. Medical Office / Services / Surgery Center
 - t. Outdoor Recreation
 - u. Park/Playground
 - v. Post Office
 - w. School (K through 12)
 - x. Storage
 - y. Utilities
4. Park and OPEN SPACE Area.
- a. Community Garden
 - b. Dog Park
 - c. Drainage Area
 - d. Greenway
 - e. OPEN SPACE
 - f. Outdoor Performance or Amphitheater
 - g. Outdoor Recreation
 - h. Pedestrian Trails
 - i. Park/Playground
 - j. Public Corridor
 - k. Public Park, State Park, Municipal Park
 - l. Public Plaza
 - m. Public Streets
 - n. Recreational Water Features, Splash Pads, Pools, Fountains

- o. Reservation
- p. Schoolyards
- q. Water Quality Feature
- r. Utilities

- 5. TV/Radio/Satellite Towers may be located in any DEVELOPMENT AREA other than Single Family Residential.

F. SITE DEVELOPMENT STANDARDS

- 1. Public Streets
 - a. This describes proposed roadway design standards associated for the Shepherd's Place DP with each of the functional classifications as related to the City of Sherman Thoroughfare Plan. Roadway design standards are in the City of Sherman's Subdivision Ordinance and include roadway design criteria and cross section elements for Major Thoroughfares (arterial) and Collector and Local streets. While street classification reflects the functions that roadways serve as part of the street network, roadway design standards are related to traffic volume, design capacity, and level of service.
 - b. Single family residential lots shall not have driveway connections to arterial or collector streets.
 - c. Commercial lots shall be required to have cross access easements for connectivity to adjacent lots.

G. ACCESS, PARKING, AND CIRCULATION REQUIREMENTS

- 1. Pedestrian Access.
 - a. All developments shall provide pedestrian access by linking to any adjacent sidewalk(s), multi-use path(s) or public transportation stop.
- 2. Vehicular Circulation
 - a. Cross Access: Prior to division of property, circulation and access standards shall be applied and, if necessary, cross easements shall be required so that access to all properties created by the subdivision can be made from shared curb cuts or cross access drives.
 - b. Minimum Driveway Spacing and Separation – per City Standards.

H. AREA STANDARDS

- 1. This section establishes basic requirements for uses, building placement, lot widths, height, stories, and overall densities. Area standards for uses permitted with conditions that are not specified in the following sections shall be proposed to the City in a manner that satisfies the requirements of the Zoning Ordinance.
- 2. For each standard set identified below, the following building height, building setbacks, building area, lot area and special regulations shall apply, provided that Minor Modifications which do not exceed 10% greater or lessor may be approved by the DIRECTOR. For purposes of this Ordinance, a "Minor Modification" is a change to the Development Plan that is determined to meet the goals and intent as set forth in this Ordinance. A Minor Modification may be approved administratively by the DIRECTOR only if, the Minor Modification:
 - a. Does not materially change the circulation shown on the Transportation Plan, or
 - b. Does not increase the allowable intensity or density of any land use under this Ordinance, or
 - c. Does not increase or decrease the number of stories, more than one story, or
 - d. Does not otherwise effectively result in an amendment to this Ordinance to an extent beyond the amendments established by this Ordinance.

3. Building heights will be measured from the ground immediately adjacent to the foundation to the eave line of the building. In the event that a permitted use in any standard set does not have a corresponding height or area regulation specified herein, the height and area regulations for such use shall be those for uses most similar to such permitted use.

Residential Standards

a. Multifamily / Apartments / Condominiums

- 1) Height: Up to 7 stories.
- 2) Maximum lot coverage: 80% total, including main and accessory buildings.
- 3) Minimum requirements for lot area, width, and setback from property lines:

Lot Area	10,000 sq. ft. minimum
Front Yard Setback	10'
Minimum Side Yard	20', 10' from a street right-of-way line for a corner lot. Unless adjacent to a single family, duplex, or patio home/COTTAGE HOME use, then side and rear setbacks shall be 25' – except if building is over 40' tall, with 1' additional for every 2' of height over 40', up to 50' maximum setback.
Minimum Rear Yard	10'
If project is a wrap, podium, or similar more urban style development, the setbacks and building separation may be 0' on the "interior" lot lines of the project.	

- 4) Building separation: minimum 15'.
- 5) Minimum floor area:

Efficiency Unit	450 sq. ft. per unit
One-Bedroom Unit	500 sq. ft. per unit
Two or more bedroom unit	800 sq. ft. per unit
- 6) Maximum DENSITY 40 units per acre.
- 7) BIG HOUSE will fall within the Multifamily designation, and may be 1 or 2 story.

b. TOWNHOUSES

- 1) Each unit features at least 1 point of direct exterior access to the structure.
- 2) Each unit is separated from the other dwellings in the structure by fire rated common walls.
- 3) No units are vertically above or below another unit within the structure.
- 4) Each unit features access to a public street or alley.
- 5) Maximum DENSITY: 16 units per acre.
- 6) Minimum requirements.

Lot Area	No minimum
Lot Width	Minimum 26'
Front Yard	Front entry garage – minimum 20' Rear entry garage – minimum 10'
Side Yard	0' for any side abutting another unit 5' for any side not abutting another unit
Rear Yard	Front entry garage – minimum 10' Rear entry garage – minimum 20'

- 7) Building Separation: 15'

c. PATIO HOMES/COTTAGE STYLE HOMES

- 1) Homes are encouraged to be in a variety and range of sizes to encourage a diversity of housing opportunities.
- 2) May be served by rear alleys or front-facing garages.
- 3) Homes shall be a maximum of 2 floors – with occupied attic space/dormers allowed.
- 4) Homes may be a “for sale” or “for rent” product type.
- 5) Maximum lot coverage: 65% total, including main and accessory buildings.
- 6) Minimum requirements: 30’ lot width, 10’ front yard, side yard is 0’ on one side, and 10’ at the other side, unless 5’ side yard is provided on both sides.
- 7) Maximum density: 12 units/acre.
- 8) Recreational vehicles or motor homes may not be used for on-site dwelling purposes.

d. Single Family Detached Homes

- 1) Single family homes are encouraged to be in a variety and range of sizes to encourage a diversity of housing opportunities.
- 2) Single family homes may be served by rear alleys or front-facing garages.
- 3) Single family homes within the Residential Area shall be a maximum of 2 floors – with occupied attic space/dormer or basement allowed.
- 4) Single family homes can be a “for sale” or “for rent” product.
- 5) Maximum lot coverage: 50% total, including main and accessory buildings.
- 6) Minimum requirements for lot width: 40’, 50’, 60’, 70’, and 80’.
- 7) Minimum setbacks: 12’ front (20’ at a garage), 10’ rear, 5’ side.
- 8) Maximum density: 4.5 units per acre.
- 9) Recreational vehicles or motor homes may not be used for on-site dwelling purposes.

Non-Residential Standards

a. Commercial/Retail/Entertainment/Restaurant

- 1) The DEVELOPMENT AREA will consist of various building types – single tenant retail, in-line retail, large box, entertainment, restaurants, commercial, office, medical, and others. Different building uses will have potentially a different building height and design guidelines.
- 2) No minimum lot area limitations.
- 3) Minimum Building Setbacks.

Front Yard	10’ if no parking occurs between the building and R.O.W. 25’ if parking occurs between the building and R.O.W.
Minimum Side Yard	10’ No minimum side yard is required between internal lots on a development as long as adjacent buildings conform to the City’s Building Code. Minimum side yard setback adjacent to a single family, duplex, or patio home/COTTAGE HOME use, then side and rear setbacks shall be 25’ – except if building is over 40’ tall, with 1’ additional for every 2’ of height over 40’, up to 50’ maximum setback.
Minimum Rear Yard Setback	10’, except adjacent to single family residential, which will be minimum 25’.

- 4) Floor to area ratio (F.A.R.): The gross area of all structures, including primary and all accessory structures, shall not exceed an amount four times the area of the lot or tract in which they are located (4:1). Parking garage shall not be counted for the F.A.R. calculation.

Additional Requirements for Specific Uses include:

a. Office

- 1) Office use will consist of various campus styles – such as larger corporate office buildings, small multi-tenant office buildings, and flex office buildings intended for sales, assemblage, and manufacturing uses. Different campus styles will have potentially a different building height and design guidelines.
- 2) No minimum lot area limitations.
- 3) Minimum building setbacks will be established on a recorded plat; provided that if no building setbacks are established on an approved site plan.

Minimum Front Yard	Minimum setback for the main building may vary between 10' and 25'.
Minimum Side Yard	No minimum side yard setback, unless adjacent to a single family, duplex, or patio home/COTTAGE HOME use, then side and rear setbacks shall be 25' – except if building is over 40' tall, with 1' additional for every 2' of height over 40', up to 50' maximum setback.
	No minimum setback is required as long as adjacent buildings conform to the City's Building Code.
Minimum Rear Yard	No minimum rear yard setback, except adjacent to single family residential, which will be minimum 25'.

- 4) Floor to area ratio (F.A.R.): The gross area of all structures, including primary and all accessory structures, shall not exceed four times the area of the lot or tract in which they are located (4:1). Parking garage shall not be counted for the F.A.R. calculation.

b. Hotel (Full and Limited Services)

- 1) Hotel shall be defined as a building with habitable rooms or suites which are reserved for guests who rent the rooms or suites on a daily basis, and with controlled access to the rooms via a lobby or interior hallway.
- 2) Limited service hotel shall furnish customary services such as registration/reception, office, linen, maid service, and furniture maintenance.
- 3) Full service hotels may provide:
 - Swimming pool.
 - Other recreational facilities, including but not limited to, exercise rooms equipped with exercise equipment, sports courts, spas, or game areas.
 - Full service restaurant.
 - Meeting or conference facilities.
- 4) No minimum lot area limitations.
- 5) Minimum building setbacks will be established on a recorded plat; provided that if no building setbacks are established on an approved site plan:

Minimum Front Yard Setback	10'
Minimum Side Yard Setback	10'
No Minimum Rear Yard Setback	10', except adjacent to single family residential, which will be minimum 25'.
Floor to Area Ratio (F.A.R.)	The gross square footage of all structures, including primary and all accessory structures, shall not exceed an amount equal to 4 times the area of the lot or tract in which they are located (4:1).

- 6) A porte-cochere or other covered area shall be provided immediately adjacent to the building entrance nearest the registration desk.

4. Height Limit Exceptions

- a. Unless noted in this DP, no specific height limits in the Commercial/Retail/Restaurant/Entertainment or Multifamily Areas.
- b. For all design categories, architectural embellishments not intended for human occupancy but important to the architectural style of the buildings, including but not limited to spires, towers, cupolas, domes, and roof forms shall not count towards height limitations.
- c. Elevator equipment enclosures, chimneys, fire sprinkler tanks, and other similar constructions may extend above the actual building height, but must be screened from view by a parapet.

I. SITE ELEMENTS

1. Drainage

- a. The drainage improvements shall be designed in accordance with the requirements provided in the Sherman Code of Ordinances and the Drainage Criteria Manual.
- b. Ownership will work with City of Sherman staff to set forth triggering points for phasing of the water and wastewater infrastructure improvements based on analysis, studies or models undertaken to support specific final plat activity.

2. Retaining Walls

- a. All retaining walls are to be built of stone or have a stone fascia and top coping.

3. Water and Wastewater Standards

- a. The City rules and regulations regarding water and wastewater standards shall apply.
- b. Ownership will work with City of Sherman staff to set forth triggering points for phasing of the water and wastewater infrastructure improvements based on analysis, studies or models undertaken to support specific final plat activity.

4. Lighting Performance Requirements

- a. A comprehensive lighting plan shall be utilized for public safety in parking areas, illumination of building areas and pedestrian scale lighting along walkways and foot paths, intersections, and gathering places. All lighting within the DP shall meet the following standards which replace the standards set forth in the Sherman Code of Ordinances.
- b. Areas designated for parking use shall provide a minimum average of 1 foot candle of illumination.
- c. Areas designated for pedestrian use shall provide a minimum average of 0.5 foot candle of illumination.
- d. Light may not measure more than 1/4 foot candle of illumination at property lines where adjacent to residential.
- e. Use of ground mounted or pedestrian level accent lighting is encouraged.
- f. Lights taller than 14' shall be shielded to prevent upward diffusion (full cut off), wall or ground mounted. Up-lighting or sideward diffused lighting to highlight building features is permitted at 2500 lumens or less per fixture on building elevations.
- g. Lighting to be LED, 4000 degree Kelvin for parking and roadway lighting, 3000 degree Kelvin for pedestrian level accent lighting – 14' or lower.
- h. Parking lot lighting shall be 30' poles on 3' concrete base. Pedestrian level accent lighting shall be 10' to 14' tall. Bollards may be 3' to 4' tall. Street lighting shall be 35' tall on 3' concrete base.
- i. All parking lot poles to be white.

5. Drives and Parking – the following standards shall apply.
 - a. All drives and parking shall be paved with concrete, concrete pavers, or brick pavers on concrete base. Curbs shall be reinforced concrete.
 - b. Surface parking is required by Shepherd's Place DP and City of Sherman for residential, commercial, office, retail and entertainment land uses. Parking lots with 200 spaces or more shall have areas divided by landscaped areas or walkways measuring a minimum of 5' in width or by a building or group of buildings.
 - 1) Pedestrian walkways shall be linked to building entrances.
 - 2) Connections shall be made when feasible to any streets adjacent to the property and to any pedestrian facilities that connect to the property unless pedestrian and/or traffic hazards prohibit such connections.
 - 3) Adjacent nonresidential sites shall provide cross vehicular access between lots.
 - c. Minimum Parking Requirements
 - 1) Residential
 - a) The minimum number of car parking spaces shall be provided in accordance with the following ratios:
 - Detached Single-Family dwelling units, except for patio homes, GARDEN STYLE HOMES, and COTTAGE STYLE HOMES: 2 spaces per unit on a paved driveway all concrete or similar paved surface such as turf pavers, brick pavers, or asphalt. Space in enclosed garage shall count as provided parking.
 - Patio, GARDEN STYLE HOMES, and COTTAGE STYLE HOMES: 1.5 spaces per unit.
 - For TOWNHOUSES – parking to be 1 space per 1 bedroom unit, 1.75 spaces per 2 bedroom unit, and 2 spaces per 3 bedroom unit.
 - Two-family dwelling units: 4 spaces per dwelling (2 spaces per unit).
 - Multi-family/apartments (tuck-under and/or tandem parking shall count towards the minimum parking requirements).
 - Efficiency units (zero bedrooms): 1 space per unit.
 - One-bedroom units: 1.25 spaces per unit.
 - Two-bedroom units: 1.75 spaces per unit.
 - Three-bedroom units: 2 spaces per unit.
 - Four-bedroom units: 3 spaces per unit.
 - Age-restricted multifamily: 1 space per unit.
 - 2) Retail
 - a) 1 space per 250 SF of gross floor area.
 - 3) General Commercial
 - a) 1 space per 250 SF of gross floor area.
 - b) Office – 1 space per 300 SF of gross floor area.
 - 4) Restaurant
 - a) 1 space per 150 SF of gross floor area. Outdoor patio space shall not count toward floor area unless covered by a solid waterproof covering. If covered, area shall be calculated at .5 of the actual area for purposes of parking calculations.
 - 5) Cinema/Theater/Performance
 - a. 1 space per 3 seats.
 - 6) Office
 - a) 1 space per 333 SF of gross floor area.
 - 7) Hotel
 - a) 1 space per guest room.
 - b) Plus 1 space per each 5 restaurant or lounge area seats.
 - c) Plus 1 space for each 125 square feet of meeting/conference room area.

- 8) On-Street Parking
 - a) The Shepherd's Place DP will allow on-street parking per Sherman Code of Ordinances on the street types as designed.
 - b) On-street parking within 150' of a parcel shall be counted toward the total required parking for that parcel.
- 9) Carts
 - a) Golf carts/motor carts are allowed throughout the DP. Carts may travel on public or private streets, driveways, parking lots, and on the trail system.
 - b) Parking for carts may be provided in designated areas within or separate from regular vehicular parking. Parking space size to be 6' wide x 8' long.
- 10) Upon submittal of an acceptable comprehensive parking plan for a SUBZONE, or for substantial portions of a SUBZONE, the DIRECTOR may recommend alternative parking requirements contained in the submitted plan for adoption and approval provided that such alternatives are consistent with this DP.

J. SIGNAGE

1. Sign Standards
 - a. Unless specifically provided for below or addressed in other sections of this DP, the Development shall conform to the Sign Requirements set forth in the City of Sherman Code of Ordinances.
 - b. A Unified Sign Plan for site signage will be submitted for each SUBZONE of the Development. The Unified Sign Plan may provide for signage of additional height and/or area related to the Sign Standards or Ordinances.
 - c. A wayfinding system providing directional and informational signs for vehicles and pedestrians that are well designed, clear and complimentary in theme shall be allowed on all sides.
 - d. Changeable message signs, electronic messaging, and video boards are allowed on pylon, monument, and directional signs, but only on 1 sign for Development SUBZONE.
 - e. All signs are allowed to display the names of any Tenants in Shepherd's Place DP.
 - f. No signs shall encroach upon any dedicated public easements. All signs must comply with the visibility obstruction requirements at roadway or driveway intersections.
 - g. No flashing lighted signs are allowed.
 - h. Obelisks, spires, pylons and other landmark elements will be provided throughout the DP. These tall elements will occur at major entrances, intersections, or other points of interest throughout the SUBZONES.
 - i. Project Graphics. Scanner murals, art, and other graphic elements with backing frame or support, and not containing a commercial message or part of National TRADE DRESS are allowed on all buildings and no permit is required to install these elements provided that the graphic was included as part of the building permit for the structure to which it is attached. They shall not be counted toward allowed sign area.
 - j. Development Identification Element at the main entrances to the DEVELOPMENT AREA or SUBZONE may have signage that is mounted on walls that extend up to 20' tall and have other related features such as planters, trellis elements, water features, etc. to enhance the entrance into the Development. Architectural elements may be up to 40' tall. These signs may also incorporate electronic messaging in accordance with City regulations.
2. Signage for Commercial, Retail, Restaurant, Entertainment
 - a. Pylon Signs.
 - 1) One pylon sign is allowed for each Lot along the road frontage of Hwy. 75 or the arterial or collector roads in the Development.

- 2) If the lot has more than 300' of frontage, then additional pylon signs may be placed at minimum 300' spacing along the R.O.W. frontage.
- 3) Along Hwy. 75 – a maximum allowable height of 50' and an allowable sign effective area of 400 sq. ft. per sign side for multi-tenant signs. Single-tenant sign is limited to 175 sq. ft.
- 4) Along other arterials or collectors – maximum allowable height of 35' and an allowable sign effective area of 300 sq. ft. per side for multi-tenant signs. Single-tenant sign is limited to 125 sq. ft.
- 5) Along other roadways – 1 pylon sign is allowed with a maximum allowable height of 20', and an allowable sign effective area of 175 sq. ft. per sign side.
- 6) Minimum setback of 10' from R.O.W. and 25' from side property lines.
- b. Monument Signs.
 - 1) One monument sign is allowed for each lot along the road frontage of Hwy. 75 or the arterial or collector roads.
 - 2) Along Hwy. 75 – a maximum allowable height of 12' and an allowable sign effective area of 150 sq. ft. per sign side for multi-tenant signs, and 100 sq. ft. per sign side for single tenant signs.
 - 3) Along other arterials or collectors – the maximum height of 10' and an allowable sign effective area of 125 sq. ft. per sign side for multi-tenant signs, and 80 sq. ft. per sign side for single tenant signs.
 - 4) Minimum setback of 10' from R.O.W. and 20' from side property lines of property outside of Shepherd's Place.
- c. Site perimeter sign walls at maximum 8' tall are allowed in lieu of monument sign, and are allowed at a street corner provided visibility obstruction requirements are met. Sign letters or badges may be mounted on the wall or on top of the wall.
- d. Attached Wall Signs.
 - 1) Attached signs include wall, canopy and awning signs.
 - 2) One canopy sign is permitted per Tenant for each storefront façade.
 - 3) One fixed awning sign is permitted per awning. Awning signs are not allowed in addition to canopy signs.
 - 4) An attached canopy sign shall not exceed upward to a height greater than the highest part of the roof or any exterior wall on which it is mounted.
 - 5) The total square footage of all attached signs shall not exceed 20% of the entire wall area on which such signs are located on multi-tenant buildings, and 15% of entire wall on single-tenant buildings.
 - 6) A freestanding building is allowed 1 wall sign per Tenant for each public street or circulation drive or parking lot wall frontage. Multiple secondary wall signs are allowed. Wall signs shall not exceed 70% of length of the building side to which it is attached.
 - 7) Wall signs depicting a commercial message on the rear of buildings are not permitted if they are facing residential areas. Wall signs depicting informational or directional messages signs are allowed on the rear of buildings facing residential areas.
 - 8) Illuminated signs must be lighted from a concealed source, except exposed neon or LED signs must be enclosed within a can and have a clear cover of Plexiglas. No exposed lamps, or tubes will be permitted.
- e. Note: No tenant may appear on more than 2 total signs (site pylon, monument, or attached wall signs).
- f. Wayfinding Signs.
 - 1) Directional wayfinding signs are allowed throughout all SUBZONES. Sign may be as noted below, designed to compliment the buildings on the site.
 - 2) Vehicular Directional – maximum 10' tall, 8' wide, 30 sq. ft.
 - 3) Pedestrian Directional – maximum 8' tall, 4' wide, 25 sq. ft.

- g. Sandwich Board Signs or “A” Frame Signs.
 - 1) Maximum sign height shall be 3’.
 - 2) Maximum sign width shall be 2’ and sign shall not be placed in front of adjoining.
 - 3) Signs must be properly anchored (temporarily) or weighted against the wind.
 - 4) Chalkboards or changeable letters may be used for daily changing messages.
 - 5) Signs shall be designed and constructed so as to promote and not visually obscure the significant architectural features of the Shepherd’s Place Development.
 - 6) Signs must be removed after business hours.
 - 7) Sidewalks must be at least 10’ wide in order to erect or maintain a sandwich board or “A” frame sign.
 - h. Blade Signs.
 - 1) One blade sign mounted under a canopy, overhang, or awning, with a maximum area of 10 sq. ft., is permitted per Tenant. Corner Tenants are permitted 2 blade signs (1 on each storefront opening or entry).
 - 2) Blade signs may be mounted to the wall, awning, canopy, or other building element – typically perpendicular to the façade.
 - 3) Blade signs must have minimum 8’ clearance to walkway surface.
 - i. Temporary Signs.
 - 1) The following types of Temporary signs shall be permitted.
 - 2) Project Announcement Signs. Announcement Signs are allowed not exceeding 100 sq. ft. per maximum effective sign area for the purposes of selling or leasing parcels. All project announcements signs must be at least 200’ apart. Project Announcement Signs shall be removed within 30 days after an occupancy permit is issued. All Project Announcement Signs must be constructed with a metal frame and have acrylic or metal panels.
 - 3) Land Available and Real Estate Signs. Signs offering land available for sale or lease shall be limited to 96 sq. ft. per sale or lease parcel provided that no more than 1 sign be installed for each 300’ of frontage. All Land Available and Real Estate Signs must be constructed with a metal frame and have acrylic or metal panels.
 - 4) Wind Device Signs. On premise, banners, and signs such as pennants, flags, and streamers for special events and grand openings shall be permitted provided they do not exceed 20 sq. ft. in area. There shall be no limit to the number of wind device signs along main circulation routes. Signs may be displayed for a maximum of 30 days 2 times per calendar year.
 - j. Informational / Incidental Signs. Minor signs such as drive-thru directional signs, gas pricing signs or traffic control signs shall be permitted as allowed under the applicable City codes.
 - k. Project Banners. Banners are allowed on lighting poles and lampposts. Each pole may have 2 banners.
 - l. Setbacks. Interior lot lines do not trigger setbacks for sign purposes.
3. Signage for Residential – Multifamily, Flex Residential, Single Family Residential
- a. Each Residential development or SUBZONE of a development shall be allowed one monument sign with a maximum height of 8’ and maximum effective area of 60 square feet at each entry into the Development. Related architectural features (such as clock towers, obelisks, etc.) may be taller than 8’ provided the signage mounted to such features is at a maximum height of 8’.
 - b. Building sites which front other perimeter public streets and have no access to that public street, may install one monument sign with a maximum height of 6’ and maximum effective area of 60 square feet.

- c. Monument signs are required to be setback a minimum of 10' from any public or private street and 10' from any rear or side property lines.
- d. Site perimeter sign walls below 8' tall are allowed in lieu of monument sign, or at street corner. Sign letters or badges may be mounted on the face of the wall, or on the top of the wall.
- e. Wayfinding and Directional signage is permitted and shall be limited to an effective sign area of 25 square feet and shall not exceed 5' in height.
- f. Flashing or moving character signs may not be installed. Illuminated signs must be rear lighted, gooseneck or similar wall mounted lighting, or lighted from non-apparent light sources. No exposed neon or LED is permitted.
- g. Each building elevation shall be allowed one wall sign limited to a maximum effective area no greater than 5% of the wall area to which the sign is attached.
- h. Building mounted blade signage is allowed. The materials and scale of the sign must be appropriate to the building it is mounted to, but shall not exceed 10 square feet and a 5' projection from the building wall. The bottom of blade mounted signs must be no lower than 8' above grade and the top shall not extend above the eave line of sloped roofs or the parapet height on flat roofs.

K. SCREENING REQUIREMENTS

- 1. Non-Residential uses must be screened from single family residential by a buffer and screening as noted in Attachment E, A.3.
- 2. Privacy fences in the Residential DEVELOPMENT AREA may consist of wood, ornamental metal with masonry columns, or masonry fence materials.
- 3. Where residential uses are incorporated into commercial uses or multi-family areas, screening walls or mechanisms shall not be required.
- 4. Loading docks, trash containers, storage areas and ground mounted mechanical equipment shall be screened from public streets, internal customer areas (not services areas) and residential uses or zones by evergreen shrubbery, trees, masonry screenwall, or a combination thereof. If screening mechanical equipment, the landscape material must be a minimum of 1' taller than the item they are to screen at time of planting and must comply with the planting standards set forth.
- 5. Storage areas, trucks based on the premises, trash containers, and maintenance facilities, shall either be housed in closed buildings or otherwise screened from view from public access ways, public areas, and adjacent residential properties. Service, loading, and storage areas shall be screened from view by walls, berms or a combination thereof, constructed a minimum 1' above all service equipment. Trash and recycling containers shall be screened from public view on three sides with a solid fence or wall to a minimum 1' above container (minimum 7'). Walls to be faced with brick, stone, or burnished CMU. Gates to be constructed of metal frame and metal fascia, color to match the building material.
- 6. Trash collection and compaction may not occur within 100' of a single-family detached residence.

7. Mechanical equipment – ground mounted – may not be placed at an area or wall that faces single family residential that is located within 60' of a single-family detached residence. Ground-mounted equipment shall not be located between the front building wall and the street.
8. All roof mounted mechanical equipment shall be fully screened from public view on the site or public pedestrian spaces, at a minimum height equal to the height of the roof mounted equipment. Acceptable methods for screening roof mounted equipment shall include parapet elements, louvers, or ridges of sloped roof forms. The color and finish of the screening shall comply with the color palette used for the building, and be complimentary to the building architecture.
9. Fences, Walls, and Railings
 - a. Residential: No fence, hedge or enclosure wall shall exceed a height of 8'. No fence along an R.O.W. may encroach upon the building setback zone.
 - b. Commercial and Manufacturing: Security fences may be erected to a height of 10'.
 - c. Railings, handrails, guardrails, separation rails shall be made of metal and be prefinished, galvanized, or coated with a minimum 20 year warranty coating. Rails to be solid, anchored, or embedded into concrete or other supporting material. All railings subject to further review.

L. TOWERS, ANTENNA, FLAGPOLES

1. Antenna or other freestanding tower structures will be allowed in all but single family Residential Area within the DP.
2. Antenna and tower structures to have screening at the base of the structure, minimum 8' high solid masonry wall with minimum 8' tall shrub row.
3. The antenna or tower structures shall have a screening material or fascia over the structure to hide the structure within, and give it the appearance of a solid façade surface.
4. Flag poles displaying the American or Texas flag area allowed throughout the DP. Flags are to be lighted with a directional ground mounted or pole mounted light, or flag is to be displayed during daylight hours only.

- M. Accessory buildings may be located to the side or rear of the main building to meet the minimum setback requirements.

N. PARKS, TRAILS, AND OPEN SPACE STANDARDS

1. The OPEN SPACE Guidelines Plan is attached which indicates the general locations and types of OPEN SPACES that shall be provided in the Shepherd's Place DP. The exact location of each OPEN SPACE and trail shall be determined at the time of detailed site plan.
2. Park
 - a. Final designs consistent with these typical park concepts shall be provided as final design and engineering are performed for each Detailed Site Plan submittal. Landscaping, hardscape, trellis, and amenities will be identified. Activated gathering spaces with amenities will be integrated into appropriate locations. Many areas will be left passive for free play or observation. Areas designated as public destinations will be provided.

3. Waterways and OPEN SPACE.

- a. Final designs consistent with these waterways and OPEN SPACE typical designs shall be produced as final hydrology, alignment, and engineering are performed for each Detailed Site Plan submittal. City required Storm Water Engineering practices will be incorporated throughout the process.

4. Pedestrian Trails

- a. Pedestrian access shall be provided throughout much of the Development and shall include internal SUBZONE trails constructed in phases with the construction of such SUBZONES that connect to the master trail system identified during the Detailed Site Plan.
- b. Final designs consistent with these typical pedestrian trail concepts shall be provided as final location and engineering are performed for each Detailed Site Plan submittal. Materials for trail construction are permitted to be concrete, pavers, decomposed granite, or other durable and applicable material suitable for trails as approved by the DIRECTOR.
- c. Minimum trail width 6', maximum trail width 12'.

O. ARCHITECTURAL STANDARDS

1. The ARCHITECTURAL STANDARDS section will govern residential and commercial architectural elements and treatments related to the facade materials, roofs, service areas and other elements and standards.
2. The DIRECTOR may approve alternative standards including, but not limited to, exterior building design or materials if it is determined that such materials are equivalent or better than those required, and they are complimentary to the Architectural Design and Standards of the SUBZONES and do not adversely impact surrounding developed properties.

SEE ATTACHMENTS A THRU D FOR ARCHITECTURAL STANDARDS

SEE ATTACHMENT E FOR LANDSCAPE STANDARDS

ATTACHMENT A
Shepherd's Place
Sherman, Texas

Commercial/Office/Medical
Architectural Standards

A. ORIENTATION / SITE DESIGN

1. Parking areas must be paved with concrete, concrete pavers or brick pavers and curbed and guttered with concrete. Access drives must be paved, curbed and guttered with concrete in accordance with the development standards promulgated by the City.
2. Parking areas must meet Parking Standards detailed in this Ordinance to accommodate all parking needs for employees, company vehicles, residents, invitees and visitors. If parking needs increase on any building site, additional parking must be provided by the Owner of such building site.
3. Pedestrian Connectivity:
 - a. Sidewalks shall be provided to promote pedestrian connectivity within each project site.
 - b. Sidewalk connection shall be provided from the primary entrances of all buildings to public sidewalk on any front facing adjacent street.
4. Directional and wayfinding signage shall provide assistance for pedestrians and vehicles.

B. BUILDING DESIGN AND MATERIALS

1. Buildings are to have architectural theming, including common design elements and materials within each development region.
2. Window glass may not be flush with exterior walls or, if flush, shall have a surround of wood/metal frame or wall trim material.
3. Buildings shall be designed to enhance the community character and have features that provide visual interest. Large, blank facades and wall surfaces shall not be permitted. Windows and/or storefronts should be included in wall planes wherever feasible. The building facades should be broken up and softened when feasible through overhangs and colonnades, trellis, architectural detailing or landscaping.
4. Buildings shall have a design element that emulates at least one of the Shepherd's Place Architectural features which are in the Ranching Heritage Architectural style. The features include the use of at least one of the following:
 - a. Native Texas quarried natural stone or limestone.
 - b. Sloped metal roofing to match color palate.
 - c. Freestanding stone element, such as fireplace, obelisk, or other design feature.
 - d. The use of shading elements, such as a canopy, portico, trellis, or awning.
- 4a. Building walls greater than 100' in length shall have vertical and horizontal façade articulation or other distinctive changes in the building façade, such as material changes, color or textural changes, projections or recesses greater than 16", canopies, porticos, and sunshades at intervals of 100' maximum.
- 4b. All buildings shall have some portion of parapet level changes or sculptural roof form through sloped roofs, mansards, etc.

5. All sides of buildings visible from the streets, or internal customer parking areas of the site, shall be constructed of masonry, including brick and native stone veneers, decorative block, Architectural finish concrete, stucco (EIFS), or other high quality material customarily used for this building style. Windows, doors and related trim are not included in this requirement.
- 5a. For all facades that face a public street, a minimum of 60% of the total net exterior wall area of each building elevation, excluding gables, windows, doors and related trim, shall be clay fired brick or native/natural stone.
- 5b. For all other facades that do not face a public street, a minimum of 40% of total net exterior wall area of each building elevation, excluding gables, windows, doors and related trim, shall be clay fired brick or native/natural stone.
- 5c. Acceptable materials include:
 - a. Native Texas quarried natural stone or limestone of varying colors, sizes and textures.
 - b. Masonry, including burnished and architectural finish face CMU and brick.
 - c. Concrete – Architectural finish. Texture coated or textured and colored.
 - d. Porcelain Tile.
 - e. Glass.
 - f. Galvanized metal panels or prefinished architectural metal panels of gray tone, neutral or earthtone color (maximum 20%).
 - g. Architectural cementitious panels in a warm, neutral/earthtone or gray tone color and “wood look” panels (maximum 40%).
 - h. EIFS or stucco in a warm, neutral/earthtone or gray tone color.
 - i. Natural metals such as, but not limited to, zinc and copper.
 - j. Natural wood, stained or painted (maximum 15%).
 - k. Roofing tile, metal standing seam or batten seam roofing, metal shingles and panels (prefinished with minimum 20 year warranty), slate, and minimum “40 year dimensional shadow type” composite shingles.
 - l. Accent colors should be used in a very limited manner to contrast the more subtle “natural” palette.
6. Glass and Storefronts. Glass may be used to allow visual access into interior spaces, or for display purposes. Buildings may not incorporate glass for more than 70% of the wall plane. Glass shall not be mirrored or highly reflective glass.

C. OUTDOOR DISPLAY AND PICK-UP

1. Exterior sidewalk displays and cart storage. Areas for customer loading or merchandise display and cart storage is allowed, but such areas shall be clearly delineated and shall not be located in front of any customer entrances, exit door(s), or within 15’ on either side of the door(s).
2. Pickup and Delivery. Pickup, delivery, loading and unloading of merchandise, equipment or other items may not occur within 60’ of single-family detached residential property. Loading areas must be located to the side or rear of the building unless the loading area is completely screened from the street by landscaping or walls that are architecturally compatible with the building. Pavement may be located within 100’ of residential property.

D. ACCESSORY USE

1. All accessory uses shall be architecturally compatible with the main structure by sharing color, materials, architectural design, roof pitch elements or some other architectural feature.
2. Gas canopies shall have full height masonry columns and roof that is sloped or has stepped parapet minimum 16" per step at maximum 50' spacing.

E. DRIVE-THROUGH REQUIREMENTS

1. Drive-through uses shall provide sufficient stacking area to ensure that public rights-of-way are not obstructed. Quick service restaurants with drive-through facilities shall provide a minimum stacking distance of 160' unless the building Owner or Tenant can substantiate that a lesser requirement is appropriate based on a national standard or case studies of other facilities operated by that Owner or Tenant. Other drive-through facilities shall provide a minimum stacking distance of 100'.
2. Drive-through canopies must be built as an integral architectural element of the structure. The supporting structure shall include at least 1 of the following architectural features:
 - a. Native Texas stone, limestone, or brick on the supporting structure columns or building facade.
 - b. A sloped metal roof.
3. The materials are to be the same as those used in the primary structure. Drive-through structures and facilities physically separated from the primary structure must be architecturally compatible with the primary structure.
4. Drive-through uses must be located to the rear or side of the structure, and buffered on the rear and side lot lines. A portion of the buffer between sites can be provided on adjacent lots.

F. PARKING STRUCTURES

1. Parking structures, if provided, shall be compatible in material, color, and design to their accompanying principal structures. Height of the parking structure shall not exceed the height of the principle structure.
2. No part of an automobile below the hood line shall be visible within a parking structure from any point on the site, or from adjacent sites and rights-of-way.
3. Parking structures shall contain internal circulation ramps.
4. Use of planters and vegetation for screening and decorative purposes on parking structure façade elevations is required.
5. Parking lot landscape spot islands are not required to be provided within or on the top level of a parking structure.
6. Parking structure lighting must be cut-off type fixtures to direct light downward only. Top level of structure to have pole lighting maximum twenty feet (20') tall.

ATTACHMENT B

Shepherd's Place
Sherman, Texas

**Retail/Entertainment/Restaurant
Architectural Standards**

A. ORIENTATION / SITE DESIGN

1. Parking areas must be paved with concrete, concrete pavers or brick pavers and curbed and guttered with concrete. Access drives must be paved, curbed and guttered with concrete in accordance with the development standards promulgated by the City.
2. Parking areas must meet Parking Standards detailed in this Ordinance to accommodate all parking needs for employees, company vehicles, residents, invitees and visitors. If parking needs increase on any building site, additional parking must be provided by the Owner of such building site.
3. Pedestrian Connectivity:
 - a. Sidewalks shall be provided to promote pedestrian connectivity within each project site.
 - b. Sidewalk connection shall be provided from the primary entrances of all buildings to public sidewalk on any front facing adjacent street.
4. Directional and wayfinding signage shall provide assistance for pedestrians and vehicles.

B. BUILDING DESIGN AND MATERIALS

1. Building frontages greater than 100' in length shall have vertical and horizontal façade articulation and other distinctive changes in the building façade, such as, but not limited to, materials, color or texture, below the sign band.
2. Buildings shall incorporate some combination of arcades, roofs, alcoves, porticoes, canopies or awnings as a design element of the façade.
3. Buildings shall have a design element that emulates at least one of the Shepherd's Place Architectural features which are in the Ranching Heritage Architectural style. The features include the use of at least one of the following:
 - a. Native Texas quarried natural stone or limestone.
 - b. Sloped metal roofing to match color palate.
 - c. Freestanding stone element, such as fireplace, obelisk, or other design feature.
 - d. The use of shading elements, such as a canopy, portico, trellis, or awning.
4. On single tenant retail buildings greater than 20,000 sq. ft. (Junior Anchors) with facades that are facing R.O.W., in addition to the requirements set forth above, the building shall also include the following design elements.
 - a. Color change, texture change, and material changes within the wall at intervals not to exceed 100'.
 - b. At least one change in wall plane not less than 12" in depth and extending a minimum of 10'.

- c. At least one variation in the top of wall, a minimum of 2' in height and be a minimum of 2' wide.
 - d. Overhanging eaves or horizontal elements, sloped roof elements, or cornice expressions or coping detail of a minimum of 12" tall and 6" deep.
 - e. Each building shall have a clearly defined, visible customer entrance on one side. Stone is required to be used as a portion of the wall material at each customer entrance.
 - 5. All sides of buildings visible from the streets, or internal customer areas of the site, shall be constructed of masonry, natural stone, decorative block, concrete, stucco or other high quality material customarily used for the building style (such as natural metals or EFIS). Gables, windows, doors and related trim are not included in this requirement. Acceptable material and color palette includes:
 - a. Native Texas quarried natural stone or limestone of varying colors, sizes and textures.
 - b. Concrete – Architectural finish. Texture coated or textured and colored.
 - c. Masonry
 - d. Porcelain Tile
 - e. Glass
 - f. Prefinished architectural metal panels of a gray tone, neutral or earthtone color (maximum 20%).
 - g. EIFS or stucco of a warm, neutral/earthtone or gray tone color.
 - h. Accent colors of a warm, neutral/earthtone range are encouraged but should be used in a limited manner.
 - i. Natural metals such as but not limited to zinc and copper.
 - j. Roofing tile, metal standing seam or batton seam roofing, metal shingles and panels (pre-finished with minimum 20 year warranty), or slate in galvanized or natural/earthtone color.
 - k. Architectural panels of cement fiber or other permanent material simulating wood or smooth panelized system (maximum 40%).
 - 6. Glass and Storefronts.
 - a. Window glass may not be flush with exterior wall treatment, or if flush, shall have a surround of wood or metal frame, or wall trim material.
 - b. Use of glass for displays and to allow visual access to interior space is encouraged. Buildings may not incorporate glass for more than 70% of the building skin.
- C. DISPLAY, STORAGE, AND PICK-UP
- 1. Sidewalk display and cart storage. Areas for customer loading or merchandise display and cart storage shall be clearly delineated and shall not be located in front of any customer entrances, exit door(s), or within 15' on either side of the door(s).
 - 2. Permanent outdoor display, sales and storage. Merchandise may be stored or displayed for sale to customers on the front or side of the buildings in accordance with this paragraph.
 - a. The total square footage of all permanent outdoor storage, display, and sales areas shall be limited to 10% of the footprint of the building, but in no event shall exceed 20,000 square feet, except for home improvement use, which may not exceed 45,000 square feet of outdoor storage and the 10% footprint restriction does not apply.
 - b. Permanent outdoor storage, display and sales shall be contiguous to the building and shall not be permitted within 75' of residential property.

- c. The permanent storage, display and sales area shall be enclosed by a minimum 8' wall of columns minimum 2' wide, of like appearance to the building with wrought iron or decorative tubular fencing between, and topped by wrought iron or tubular steel fencing. No merchandise other than trees shall be visible above the wall or fence.
 - d. Seasonal outdoor display will be allowed. Size will be limited to 11,000 square feet maximum. Dates for outdoor display will be year round. Merchandise may not exceed 10' in height except for trees.
 3. Rear Storage. Bulk merchandise may be stored behind the building. The sides and back of the storage area shall be screened with a chain link fence covered with windscreen, except for any side or back that is separated from any residential property by an 8' masonry wall and landscaped buffer yard, in which case additional screening is not required. Windscreen shall be maintained in good repair and free of tears. The rear storage area shall not be accessible to customers. Merchandise shall be stacked no higher than 25' or level with the top of the adjacent sidewall of the building, whichever is lower, and may not be stacked above the height of the chain link fence.
 4. Pickup and Delivery. Outdoor storage, pickup, delivery, loading and unloading of merchandise, equipment or other items may not occur within 60' of residential property. Loading docks must be located to the side or rear of the building unless the loading area is completely screened from the street, and loading docks shall be located more than 60' from residential property. Pavement may be located within 100' of residential property.
 5. Trash Collection and Compaction. Trash collection and compaction may not occur within 100' of a residential property, and shall be screened from public view.
 6. Mechanical equipment. No mechanical equipment may be located within 60' of a residential lot. Mechanical equipment shall be screened from public view on site.
- D. ACCESSORY USE.
1. All accessory uses shall be architecturally compatible with the main structure by sharing color, materials, architectural design, roof pitch elements or some other architectural feature. Gas canopies shall have full height masonry columns and roof that is sloped or has stepped parapet minimum 16" per step at maximum 50' spacing.
- E. DRIVE-THROUGH REQUIREMENTS.
1. Drive-through uses shall provide sufficient stacking area to ensure that public rights-of-way are not obstructed. Quick service restaurants with drive-through facilities shall provide a minimum stacking distance of 160' unless the building owner or tenant can substantiate that a lesser requirement is appropriate based on a national standard or case studies of other facilities operated by that owner or tenant. Other drive-through facilities shall provide a minimum stacking distance of 100'.
 2. Drive-through uses must be built as an integral architectural element of the primary structure and use and shall include at least 1 of the Shepherd's Place architectural features defined in the Shepherd's Place Architectural Standards. The materials are to be the same as those used in the

primary structure. Drive-through structures and facilities separate from a primary structure must be architecturally compatible with the primary structure.

3. Drive-through uses must be located to the rear or side of the structure, and buffered on the rear and side lot lines as required. A portion of the buffer between sites can be provided on adjacent lots.

F. PARKING STRUCTURES

1. Parking structures, if provided, shall be compatible in material, color, and design to their accompanying principal structures. Height of the parking structure shall not exceed the height of the principle structure.
2. No part of an automobile below the hood line shall be visible within a parking structure from any point on the site, or from adjacent sites and rights-of-way.
3. Parking structures shall contain internal circulation ramps.
4. Use of planters and vegetation for screening and decorative purposes on parking structure façade elevations is required.
5. Parking lot landscape spot islands are not required to be provided within or on the top level of a parking structure.
6. Parking structure lighting must be cut-off type fixtures to direct light downward only. Top level of structure to have pole lighting maximum twenty feet (20') tall.

ATTACHMENT C
Shepherd's Place
Sherman, Texas

Flex Residential and Multifamily
Architectural Standards

A. SITE DESIGN & ORIENTATION

1. Buildings shall front on public streets and/or a private street system and may have secondary frontages onto parking lots.
2. Parking is permitted between front facades of buildings and the R.O.W. property line. On street parking is permitted.
3. In developments that are designed to provide a more urban setting (building's setback to be maximum 25' from R.O.W., density at the top 25% of allowed density, and building height minimum 2 stories), on-street parking or parking access directly from the street will be allowed. This parking will be allowed to count as required parking.
4. In developments that are designed to provide a more urban setting, buildings shall be directly accessed from the street and the sidewalk with a minimum of one ground floor pedestrian entrance per building oriented toward the street or sidewalk.
5. Accessory structures such as carports, garages and storage units (but not including leasing offices, club houses or recreation centers) shall not be located along public right-of-way.
6. "Tuck under" or extended garages may occupy no more than 45% of the total building frontage. This measurement does not apply to garages facing an alley, courtyard, or parking field entrance. Any garage may not extend beyond the building front. Garages that are at least 30' behind the building front may exceed the 45% frontage minimum. Garages shall not be located along the portion of the building that fronts the public or private street.

B. ARCHITECTURAL STANDARDS

1. Building frontages greater than 100' in length shall have recesses, projections, windows, arcades or other distinctive features to interrupt the length of building façade. Elements including, but not limited to, balconies, setbacks, and recesses or projections greater than 16" may be used to articulate individual units or collections of units.
2. Uninhabitable building features, outdoor patios (covered or uncovered), and architectural building feature elements (fountains, towers, awnings, trellis, outdoor gazebos for multi-family, or similar) may encroach upon the front setback or side setback (by as much as 10').
3. Un-enclosed stairwells shall not be located on the exterior of any buildings. Stoops are permitted for the entrance to ground level units directly accessible from the sidewalk.
4. Use of false door or window openings shall be defined by frames, sills, and lintels.
5. All building façades shall include no less than 3 of the elements listed below. Elements shall occur at intervals of no more than 100' horizontally or 20' vertically. Vertical architectural design features, such as towers, are not required to comply with the 20' vertical requirement.
 - a. Color change.

- b. Texture change.
 - c. Material change.
 - d. Medallions / accent pieces.
 - e. Decorative light fixtures.
6. Roofs:
- a. If pitched roof forms (gable, hip, shed) with overhanging eaves are used, they shall be between 4" of vertical rise to 12" of horizontal run, and 12" of vertical rise to 12" of horizontal run.
 - b. Metal standing seam roofing is allowed.
 - c. Asphalt roofing shingles shall be dimensional (shadow line) type and at least a "40 year" shingle.
 - d. Clay tile, concrete tile, and slate are permitted materials.
 - e. Distinctively shaped roof forms, detailed parapets, parapet steps, or exaggerated cornice lines should be incorporated into rooflines along building façades greater than 75' in length.
 - f. Flat roofs are permitted and must have parapets as required to screen any roof or roof top equipment (equal to height of equipment). Walls adjoining flat roofs must contain a distinctive finish at the top of the wall such as a cornice, banding, large coping, or other architectural termination.
 - g. All sloped roofing areas shall include gutters and downspouts except for small roof areas such as, but not limited to, roofs over bay windows, awnings, and canopies.
7. Materials and Colors:
- a. For all facades that face a public or private street, windows and doors shall comprise at least 18% of the wall area. All other facades may be reduced to 10%, or may provide one window or door per sleeping area (as defined by the Building Code), whichever method provides for the greater coverage of windows and doors. Shutters, trims, or false windows, shall not count toward the minimum requirement.
 - b. For all facades that face a public or private street, a minimum of 50% of the total net exterior wall area of each building elevation, excluding gables, windows, doors and related trim, shall be clay fired brick or native/natural stone. The balance of the 50% net exterior wall shall be comprised of at least 2 of the following materials, which shall not be counted toward the minimum masonry requirement.
 - 1) Stucco.
 - 2) EIFS. When used, EIFS shall be a minimum of 8' above grade/walkway.
 - 3) Prefinished metal panels and siding materials with a dimensional shape (depth of approximately 1 inch or greater). All materials must have a factory finish with a 20 year warranty.
 - 4) Cement fiber siding such as Nichiha or Hardie siding. All siding members must be individual boards or panels. (Soffits may utilize sheet materials of approximately 4' x 8'.)
 - 5) Cast stone.
 - c. For all other facades that do not face a public or private street, a minimum of 30% of total net exterior wall area of each building elevation, excluding gables, windows, doors and related trim, shall be clay fired brick or native/natural stone. The balance of the 70% net exterior wall shall be comprised of at least 2 of the following materials, which shall not be counted toward the minimum masonry requirement.
 - 1) Stucco.
 - 2) EIFS. When used, EIFS shall be a minimum of 8' above grade/walkway.

- 3) Prefinished metal panels and siding materials with a dimensional shape (depth of approximately 1 inch or greater). All materials must have a factory finish with a 20 year warranty.
 - 4) Cement fiber siding such as Nichiha or Hardie siding. All siding members must be individual boards or panels. (Soffits may utilize sheet materials of approximately 4' x 8').
 - 5) Cast stone.
 - d. No individual building material, with the exception of clay fired brick or native/natural stone may comprise more than 50% of the net exterior wall area of each building elevation.
 - e. All buildings within a particular project shall be constructed of building materials from a similar color and material palette. This is not intended to require similar materials with adjacent properties within Shepherd's Place. General color palette shall be of earth tones, gray tones, and neutral colors with other accent colors permitted up to a maximum of 10% of each façade.
 - f. Windows may be residential type vinyl, aluminum, fiberglass, or wood with insulated glass. Storefront glazing systems are also permitted. Window surrounds (trim) are required in all walls other than brick or stone.
8. Public entrances to buildings shall be clearly defined and highly visible including features such as, canopies, porticos, awnings, peaked roof features, towers, or similar architectural forms and details.

C. ACCESSORY STRUCTURES

1. Accessory structures (including parking structures, detached garages, and storage units) shall complement the main building architecture and use the same materials and color palette.
2. Accessory structures visible from a public or private street or a residential use or district are subject to the same masonry and roofing material requirements as the main buildings but are not subject to the other building design standards. Garage doors shall be metal or metal faced with wood.

D. PARKING STRUCTURES

1. Parking structures, if provided, shall be compatible in material, color, and design to their accompanying principal structures. Height of the parking structure shall not exceed the height of the principle structure.
2. No part of an automobile below the hood line shall be visible within a parking structure from any point on the site, or from adjacent sites and rights-of-way.
3. Parking structures shall contain internal circulation ramps.
4. Use of planters and vegetation for screening and decorative purposes on parking structure façade elevations is required.
5. Parking lot landscape spot islands are not required to be provided within or on the top level of a parking structure.
6. Parking structure lighting must be cut-off type fixtures to direct light downward only. Top level of structure to have pole lighting maximum twenty feet (20') tall.

E. SERVICE & SECURITY AREAS

1. Service areas for common use recreation and activity buildings shall be located at the rear or side yard of the buildings. Such areas must not be visible from public roadways. No service or delivery vehicles may park or load/unload on public roadways, primary entrance drives or in visitor drop-off areas.

2. Service, loading and storage areas shall not encroach on any landscape area.
3. When used, guard houses (manned or unmanned) and entrance gates shall be a minimum of 60' from the property line for stacking area.
4. When used, gate controls, card pads and intercom boxes shall be located in driveway islands adequate distances from the gate to allow "U-turning" without backing onto the public street.

F. PEDESTRIAN CONNECTIVITY:

1. Provide a logical layout for vehicular and pedestrian circulation to help minimize the conflicts between the two. When there are crossings or common path areas, provide well marked or differentiated pathways.
2. Sidewalks shall be provided along all sides of the lot that abut a public right-of-way and where otherwise required to promote pedestrian connectivity within the site and to adjacent properties. At a minimum, walkways shall connect focal points of pedestrian activity such as, but not limited to, transit stops, street crossings, building entry point.

G. FENCING

1. If walls and fencing are used to secure the perimeter of a building site in a multi-family zone, they must be 5' to 6' high and constructed of materials and finishes that match the buildings. "Wrought iron" style metal picket fencing is allowed provided it is interrupted with masonry columns or walls (to match the building) such that no run of metal picket fencing exceeds 40'. Metal picket fencing is to be powder coated or otherwise pre-finished. Field painting is only allowed for touch up when required. Walls/fences located in the front yards or forward of the front building line shall be no more than 40% opaque.
2. Walls and columns must be constructed with appropriate structural footings and foundations to minimize movement and wall failure, and must be constructed with level wall/fence tops.
3. Concrete walls (precast, cast-in-place, or tilt up) regardless of texture, finish and color are not permitted.
4. Fencing shall be setback a minimum of 5' from the sidewalk or 10' from the back of curb along a public or private street, whichever is greater. Additionally, fencing shall comply with the sight visibility triangle requirements in the City's Transportation Criteria Manual.

H. GRADING AND DRAINAGE

1. All grading must be done to alleviate ponding and must be coordinated with the master storm drainage plan and detention facilities. Depressions on paving or the landscape areas which will allow ponding of water are not permitted.
2. Drainage swales must be shallow, gently contoured and sloped to minimize erosion. Concrete rip-rap and trapezoidal concrete channels are not permitted.

ATTACHMENT D
Shepherd's Place
Sherman, Texas

Single Family Residential
Architectural Standards

A. SITE DESIGN & ORIENTATION

1. For Single Family Detached construction, no two building elevations shall be repeated with less than 200' of separation on the same side of the street.
2. In Single Family Attached construction, parking is not permitted between front facades of buildings and R.O.W. property line with public right-of-way greater than 20'. On street parking is permitted in all areas.
3. All portions of buildings within 35' of an existing single-family use or district outside of the Shepherd's Place Development Plan shall be constructed to a maximum height of 40'.
4. Buildings shall be directly accessed from the street and the sidewalk with a minimum of 1 ground floor pedestrian entrance per building oriented toward or perpendicular to a street or private drive.
 - a. Garage doors for attached garages may occupy no more than 50% of the total building facade. This measurement does not apply to garages facing an alley or courtyard entrance.
5. For attached Single Family lots with alleys, rear yard setbacks (alley way) shall be 4' if at least 2 parking spaces are provided in a garage. This provision replaces rear yard requirements.
6. End units of attached Single-Family dwelling buildings shall have a minimum side yard setback of 5' at right of way. Setbacks between units of attached Single-Family dwellings shall be zero feet. Front yard setbacks may vary from 0' feet to 5' minimum but no more than 50% of each block of attached Single-Family building shall have a zero foot setback.
 - a. Sidewalks within the right-of-way shall be located against the curb.
 - b. Distance from edge of street pavement to building front shall be minimum 10'.

B. ARCHITECTURAL STANDARDS

1. For Attached Single Family
 - a. Building frontages 100' in length or greater shall have recesses, projections, windows, arcades or other distinctive features to interrupt the length of building façade. Elements including, but not limited to, balconies, setbacks, and recesses or projections greater than 16" may be used to articulate individual units or collections of units.
 - b. All building façades shall include no less than two of the elements listed below. Elements shall occur at intervals of not more than 100' horizontally.
 - 1) Color change
 - 2) Texture change
 - 3) Material change
 - 4) Medallions/accent pieces
 - 5) Decorative light fixtures
2. For All Single Family
 - a. Use of false door or window openings shall be defined by frames, sills, and lintels.

b. Roofs:

- 1) If pitched roof forms (gable, hip, shed) with overhanging eaves are used, they shall be between 4" of vertical rise to 12" of horizontal run, and 12" of vertical rise to 12" of horizontal run.
- 2) Metal standing seam roofing allowed, including porch or awning elements, and in dormers in high sloped roof areas is allowed.
- 3) Asphalt roofing shingles shall be dimensional (shadow line) type and at least a "30 year" shingle.
- 4) Clay tile, concrete tile, and slate allowed.
- 5) Photovoltaic shingles mimicking clay, concrete, or slate are allowed.
- 6) Distinctively shaped roof forms, detailed parapets, parapet steps, or exaggerated cornice lines shall be incorporated into rooflines along building façades greater than 75' in length.
- 7) Flat roofs are permitted and shall have parapets as required to screen any roof top equipment - equal to the height of the units. Parapets shall include an accent feature and shall not be greater than 50' in length without variation in height or accent feature.

c. Materials and Colors:

- 1) For all facades that face a public or private street, windows and doors shall comprise at least 15% of the wall area. All other facades may be reduced to 10%, or may provide 1 window or door per sleeping area (as defined by the Building Code). Shutters, trims, or false windows, shall not count toward the minimum requirement.
- 2) For all facades that face a public or private street. A minimum of 80% of the total net exterior wall area (total wall area less windows, doors, and related trim area) of each building elevation, excluding gables, shall be clay fired brick, native/natural stone, stucco, or decorative cement fiber siding.
The balance-up to 20% of the net exterior wall, shall be comprised of at least two of the following materials, which shall not be counted toward the minimum 80% masonry requirement.
 - a) Stucco
 - b) EIFS – when used, EIFS shall be a minimum 8' above grade/walkway.
 - c) Prefinished metal panels and siding materials. Such materials shall be factory prefinished with a minimum 20 year warranty (single family attached only).
 - d) Wood or composite wood panels, all siding members must be individual boards (soffits may utilize sheet materials of approximately 4' x 8').
 - e) Cast stone.
- 3) For all other facades that do not face a public or private street, a minimum of 60% of the total net exterior wall area (total wall area less windows, doors, and related trim area) of each building elevation, excluding gables, shall be clay fired brick, native/natural stone, stucco, or decorative cement fiber siding.
The balance up to 40% of the net exterior wall shall be comprised of at least two of the following materials, which shall not be counted toward the minimum 60% masonry requirement.
 - a) Stucco.
 - b) EIFS – when used, EIFS shall be a minimum 8' above grade/walkway.
 - c) Prefinished metal panels and siding materials. Such materials shall be factory prefinished with a minimum 20 year warranty (single family attached only).
 - d) Wood or composite wood panels, all siding members must be individual boards (soffits may utilize sheet materials of approximately 4'x 8').
 - e) Cast stone products.

- d. No individual building material, with the exception of brick or native/natural stone may comprise more than 50% of the net exterior wall area of each building elevation.
- e. Windows may be residential type vinyl, aluminum, fiberglass, or wood with insulated glass. Window surrounds (trim) are required in all walls other than brick or stone. Storefront glazing systems shall be allowed in the AMENITY CENTER or clubhouse.
- f. General color palette shall be of earth tones, gray tones, and neutral colors with other accent colors permitted up to a maximum of 10% of each façade.

C. ACCESSORY STRUCTURES

- 1. Accessory structures (including detached garages, and storage units) shall complement the main building architecture and use the same materials and color palette.
- 2. Accessory structures visible from a public or private street or a residential use or district are subject to the same masonry and roofing material requirements as the main buildings. Garage doors shall be metal or metal faced with wood.

D. LANDSCAPING FOR DETACHED SINGLE FAMILY

- 1. Front yard trees shall be provided along all public and private streets consistent with the requirements in the Sherman Development Code excepting to replace with:
 - a. One tree per lot, approximately evenly spaced, for developments with lots 60 linear feet or less of street frontage.
 - b. Two trees per lot, approximately evenly spaced, for developments with lots greater than 60 linear feet of street frontage.
- 2. A minimum of 20% tree canopy at maturity is required. Tree canopy within common areas on the development (AMENITY CENTERS, OPEN SPACES, etc.) may be allocated (credited) toward tree canopy on the individual lots. (Area of tree canopy as defined by Arborlogical Society)

E. LANDSCAPING FOR ATTACHED SINGLE FAMILY

- 1. Street Trees shall be provided along all public and private streets consistent with the requirements in the Sherman Development Code.
- 2. Buffer requirements set forth in the Sherman Development Code shall only apply to residential districts adjacent to and outside of the Shepherd's Place.
- 3. Required landscape areas shall be included in common areas.
- 4. A minimum of 15% tree canopy at maturity is required. Tree canopy within common areas on the development (AMENITY CENTERS, OPEN SPACES, etc.) may be allocated (credited) toward tree canopy on the individual lots.

F. LIGHTING FOR: (A) ATTACHED SINGLE FAMILY AND (B) DETACHED SINGLE FAMILY AT STREETS AND ALLEYS ONLY

- 1. Lighting shall be provided for vehicular, pedestrian, signage and architectural and site features.

2. Site lighting fixtures used along public and private streets and in parking areas shall be no taller than 25' high and the fixtures shall be of a consistent design within each project. This is not intended to require a consistent design within the whole of Shepherd's Place.
3. Parking areas shall have a minimum average of 0.5 foot candle initial illumination. Maximum illumination at property lines where the adjacent property allows single family or multi-family uses shall not exceed 0.1 foot candles.
4. Light sources shall be LED. Yellow/orange source lights are prohibited from use. In parking or drive areas, lighting must be 4000 Degree Kelvin. Pedestrian level accent lights to be 3000 Degree Kelvin.
5. Parking lot lights shall generally be shielded to prevent upward diffusion (full cut off). Building mounted lighting may shine upward or sideways as long as it is directed at the building accent features or building wall, and not directed outward.

G. FENCING

1. If walls or fencing are used to secure the perimeter of a development site in a single family zone, they must be a minimum of 6' high with a maximum of 8' high, and constructed of stone, brick, or wrought iron style metal picket fence with brick or stone columns. Maximum distance between columns for a metal picket fence shall be 40'. Fence in front yard to be maximum 6' tall and maximum 40% opaque.
2. Walls, fences, and columns must be constructed with appropriate structural footings and foundations to minimize movement and wall failure, and must be constructed with level wall/fence tops.
3. Concrete walls (precast, cast-in-place, tilt wall) regardless of finish, are not allowed.

ATTACHMENT E

Shepherd's Place
Sherman, Texas

**Landscape Standards
(for other than all Single Family Residential)**

A. GENERAL LANDSCAPE

1. Landscape Plan
 - a. Landscaping must be provided in accordance with the Sherman Development Code.
2. OPEN SPACE Requirements.
 - a. Shall maintain a minimum average OPEN SPACE of 10% of the overall site. This OPEN SPACE shall include all planted areas (parking lot islands, planted buffer strips), sidewalks within planted areas and paved plaza spaces, pools, fountains, parks, trails, playgrounds, and other areas. It shall not include parking, road, or drive areas, building footprint areas and loading docks.
3. Buffers and Screening
 - a. Non-Residential development adjacent to Single Family Residential – Buffer shall consist of a wall at 8' tall, constructed of masonry with a minimum 10' wide landscape area planted with grass and/or groundcover. There shall be 1 ornamental tree every 20' on center or 1 shade tree every 40' on center within the landscape area.

B. STREET LANDSCAPING

1. Landscaping shall consist of a combination of such plant materials as follows: ground cover, shrubs, vines, hedges, trees, or other such materials.
2. Required street trees will be planted within the streetscape areas identified on the typical street sections of this DP. Trees for these street sections may be located outside the Pedestrian Realm and be included in the front yard setback area.
3. Required street trees may be clustered in order to facilitate creative design, visibility, or safety.
4. For the Minor Arterial and Commercial Collector street sections set forth in this DP, street trees will be provided at a minimum of one tree for every 100 linear feet.
5. Tree wells are permitted and may be covered with grates, living plant materials or some permeable non-living material.
6. Street trees to be a minimum 3 caliper inches.
7. All street landscaping will be maintained by the Property Owner or the Owner's Association.

C. PARKING LOT LANDSCAPING AND SCREENING

1. All parking lots, which for purposes of this Section, include areas of vehicle maneuvering, parking, and loading, shall be landscaped and screened as follows.
2. Landscape Standards
 - a. A minimum of 7% of the total site area shall be landscaped.
 - b. A minimum of 15% of the required parking shall be covered by tree canopy calculated at maturity.
 - c. The tree species shall be an appropriate shade tree or ornamental/accent tree and shall be selected from the Approved Plant List.

3. All parking lots (other than areas for vehicle maneuvering or loading) adjacent to public and private streets to have a minimum 10' landscape screening buffer unless the parking is on-street parking accessed directly from the street. The buffer is the area located between the right-of-way and the parking lot. Utility easements are allowed to count towards part of the right-of-way landscape screening buffer subject to required separation from utilities. The landscape screening buffer shall contain the following items.
 - a. One large tree for every 40' or 2 small ornamental/accent trees for every 40'.
 - b. Landscape plantings containing at least one of the following:
 - 1) A minimum 3' high, when mature, continuous row of evergreen shrubs. The shrubs may be grouped and not planted in a continuous row provided that the shrubs overlap to form a continuous buffer.
 - 2) A minimum 3' high continuous wall made of any combination of wrought iron, stone, brick, or masonry. If wrought iron is used, vines shall be grown on the wrought iron to screen the parking lot.
 - 3) A grass or landscaped berm, 3' high above the parking pavement surface.
 - c. Xeriscaping landscaping may be planted within the landscape area and shall require water irrigation for a period of three years for landscaping to be established. After three years, no irrigation is required.
4. Islands in Parking Areas.
 - a. Landscape Islands
 - 1) Generally, there will be 1 planted island within 60' of each parking space. This planting island shall occupy approximately the size of 1 standard parking space. Each island shall contain 1 shade tree (2" min. cal.) from the City Tree List. Alternatively, there will be 1 planted island for approximately every 20 linear parking spaces. This planting island shall be the approximate size of 2 standard parking spaces. Each island shall contain 2 shade trees (2" min. cal.) from the City Tree List. Ground cover within the island shall be 100% turf, shrub, planted groundcover, gravel, or mulch or combination thereof. Note: A maximum of 25% of the required islands may be 5'x5' diamond within the parking row, but not at end islands.
 - b. End Islands.
 - 1) There shall also be an end island for every parking row. This end island shall occupy 1 standard parking space. Each island shall contain 1 shade tree (2" min. cal.) from the City Tree List. Ground cover within the island shall be 100% turf, shrub, planted groundcover, gravel, or mulch or combination thereof.
5. Spacing from Public Utilities.
 - a. Water and Wastewater Lines – No trees shall be planted closer than 5' from any public underground water or wastewater utility main unless acceptable to utility provider or applicable staff approves a specific circumstance. The location of the water or wastewater utility line shall be considered, for distance purposes, to be the surface of the ground above the line.
 - b. Fire Hydrants – No trees shall be planted closer than 10' from any fire hydrant.

D. PUBLIC SPACES

1. A minimum of 4,000 sq. ft. of PLAZA OR PUBLIC SPACE shall be required for each DEVELOPMENT AREA within Shepherd's Place. PLAZA OR PUBLIC SPACE may be located anywhere within each DEVELOPMENT AREA of Shepherd's Place.

2. Public access dedication is required to provide access to the PUBLIC SPACE. This will be shown on the final plat.
3. PLAZAS OR PUBLIC SPACES shall incorporate at least 3 of the 5 following elements, which may be located anywhere within Shepherd's Place DEVELOPMENT AREA.
 - a. Sitting space – at least one sitting space for each 250 square feet shall be included in the Plaza. Seating space shall be a minimum of 16" in height and 18" in width. Ledge benches shall have a minimum depth of 30".
 - b. A mixture of areas that provide shade.
 - c. Trees in proportion to the space at a minimum of 1 tree per 800 square feet.
 - d. Water features.
 - e. Public art.
 - f. Outdoor eating areas or food vendors.
 - g. Planting areas in the sidewalk. Pots or above grade planters are allowed, minimum of 15 gallons.
 - h. Bike Racks.
4. Developments involving a gross floor area in excess of 40,000 square feet of a single user shall have a minimum of 100 sq. ft. seating area including permanent benches along the front sidewalk area. A minimum of one bike rack shall also be included along the storefront. Bench and bike rack should be of an architecturally consistent design.

E. LANDSCAPE MAINTENANCE AND TREE MITIGATION

1. All landscaping and trees shall be maintained in healthy condition. If plant materials die, they shall be replaced in a timely manner, consistent with their growing season.
2. No tree replacement or mitigation is required.

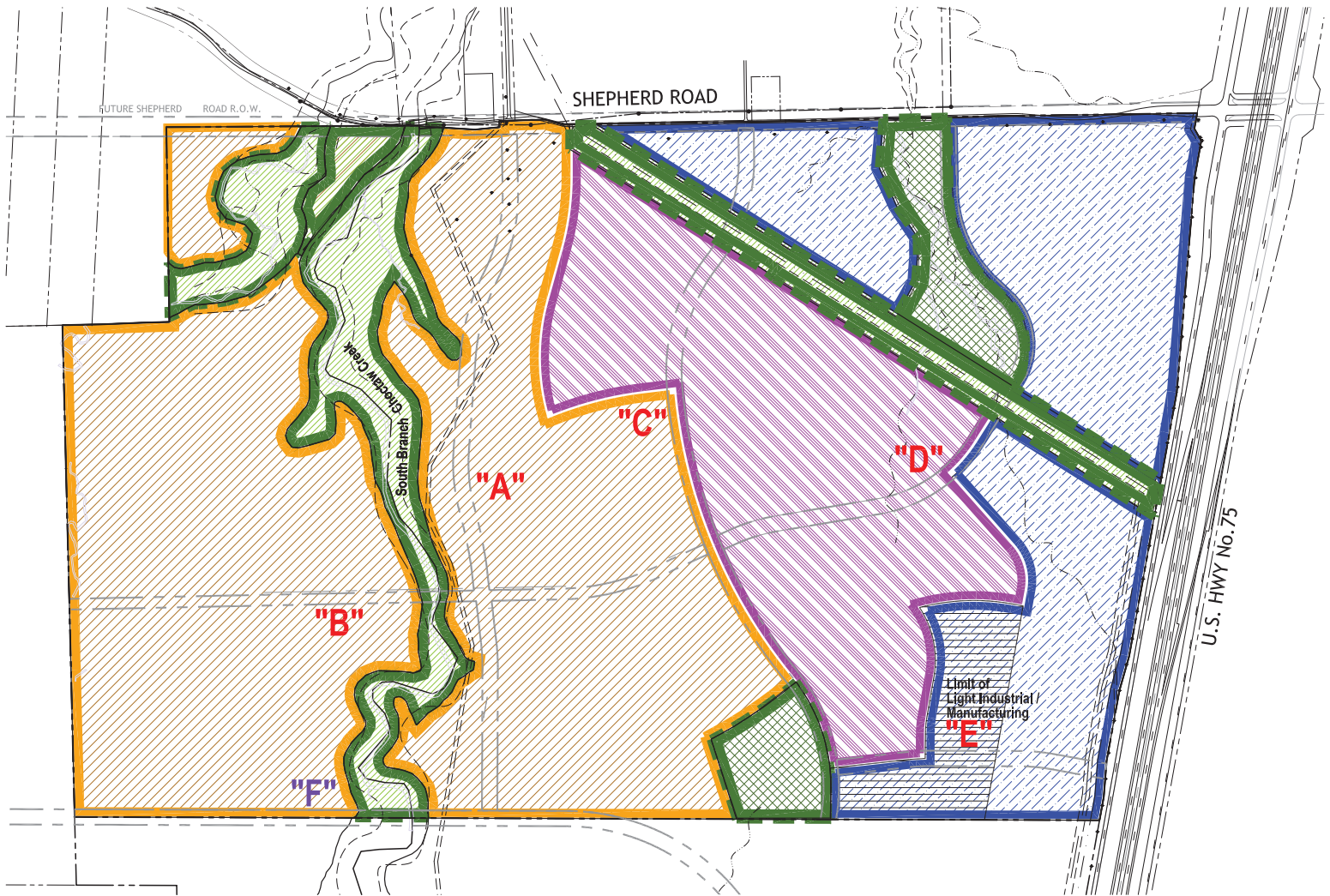
F. CALCULATIONS

1. OPEN SPACE, tree canopy, and minimum landscape shall be calculated as part of the entirety of Shepherd's Place rather than on a site-by-site basis. Any OPEN SPACE, tree canopy, landscape area, and tree mitigation credits established may be applied throughout the entirety of Shepherd's Place.
2. A submittal will be made to the City upon permit application showing the calculation of OPEN SPACE, tree canopy, and landscaping indicating the amount of common area OSTCL is being credited toward the requirement for each permit.

G. AMENDMENTS TO THE LANDSCAPE PLAN

1. The DIRECTOR may authorize minor changes in the Landscape Plan that otherwise comply, and do not:
 - a. Reduce the perimeter landscape buffer strip required;
 - b. Detrimentially affect the original landscape plan's aesthetic function relative to adjacent right-of-way or surrounding property; or screening or buffering function.

EXHIBIT "A" - CONCEPTUAL PLAN



Development Areas



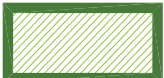
Residential
± 247 ac



Flex Residential / Multi-Family
± 110 ac



Commercial / Retail / Restaurant / Entertainment
± 95 ac



Open space / Park
± 52 ac



Potential Open space / Developable Area
± 28 ac

(Maximum of 50% to be developed, pending final determination of engineering aspects of the area)

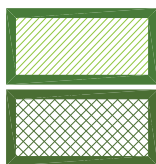
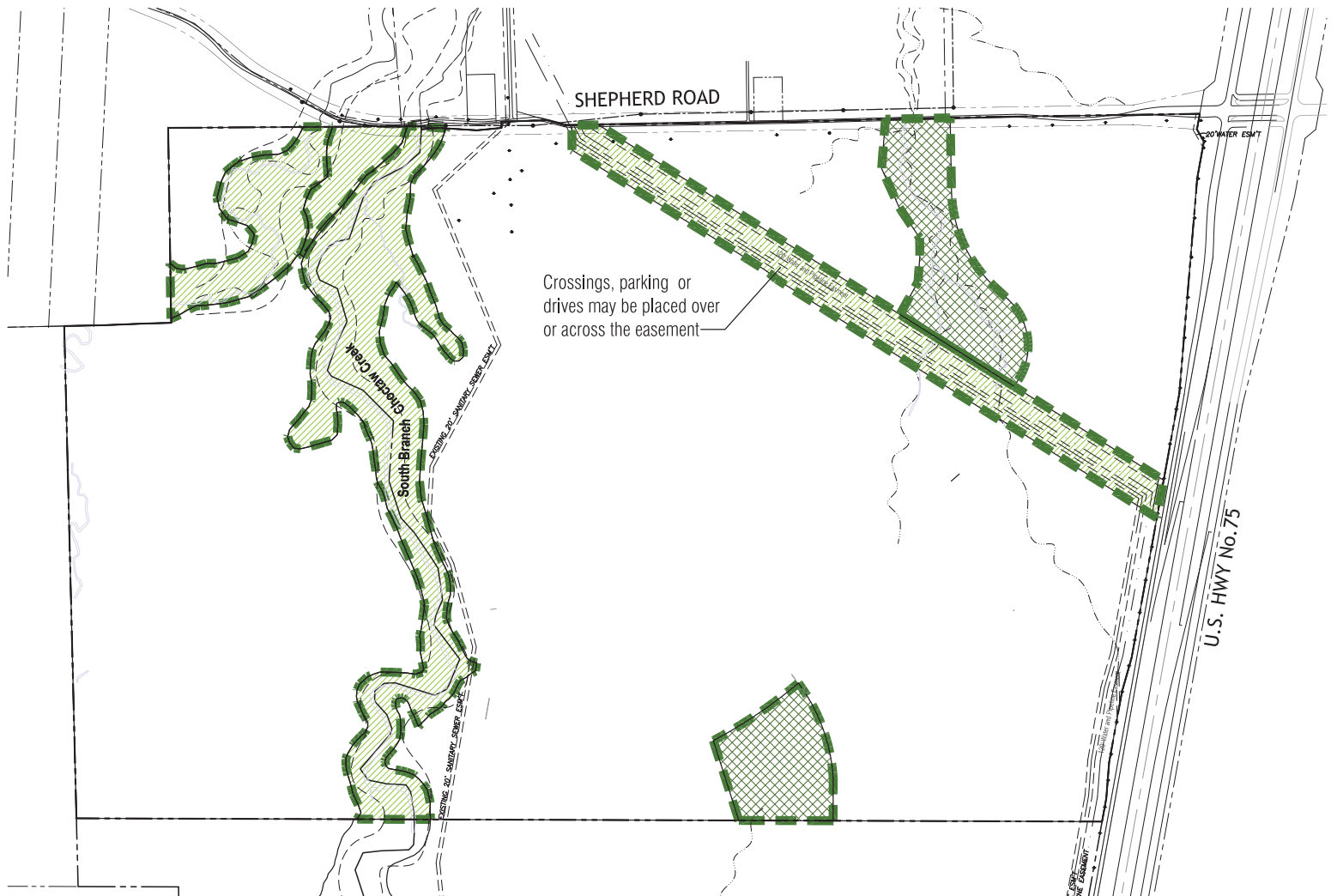
TOTAL LAND AREA
531.87 Ac

GENERAL NOTES:

1. The thoroughfare alignment(s) shown on this exhibit are for illustration purposes only and does not set the alignment. The alignment is determined on final plat.
2. All roads, sidewalks, fire lanes, drive aisles and intersections will comply with the City Design Standards.
3. Any easements to be established will be identified and provided at time of platting.
4. Acreages, lot counts, and tabulations are subject to change as a result of further engineering and are considered approximate.
5. Graphic illustrations in the open spaces are not intended to communicate, show, or represent actual program elements, layout, or detailed landscape design.
6. Distances between property lines, street lines, alley lines; and driveway configurations will be established at time of platting. Design criteria for these distances will follow those standards outlined within the Planned Development (PD) for this project.



EXHIBIT "B" - OPEN SPACE GUIDELINE PLAN



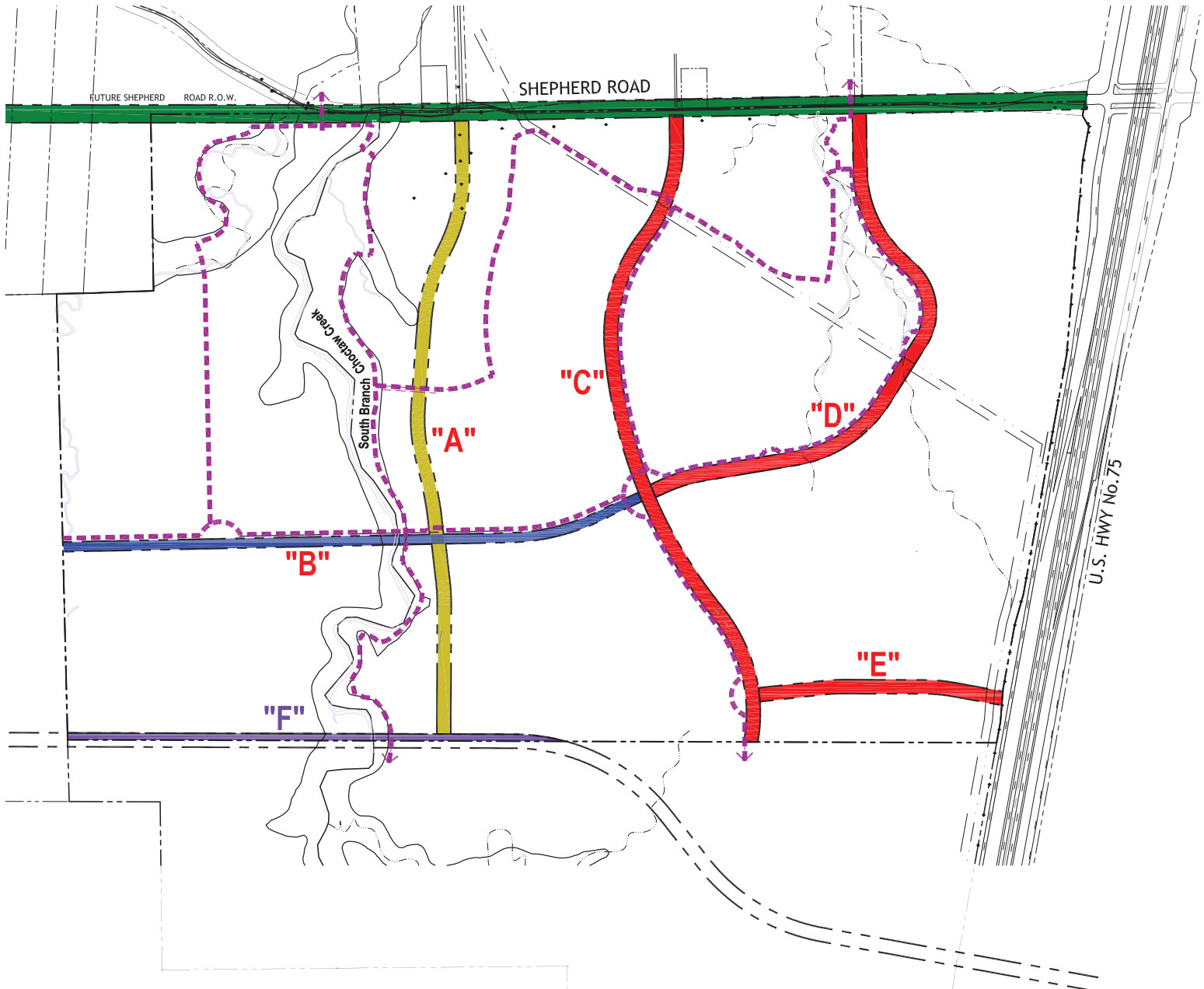
Open space / Park
±52 ac

**Potential Open space /
Developable Area**
±28 ac

(Maximum of 50% to be developed,
pending final determination of
engineering aspects of the area)



EXHIBIT "C" - TRANSPORTATION MASTER PLAN



	RESIDENTIAL COLLECTOR	60' R.O.W	per Exhibit E.2
	COMMERCIAL COLLECTOR	65' R.O.W	per Exhibit E.3
	MINOR ARTERIAL	86' R.O.W	per Exhibit F.1
	MAJOR ARTERIAL	110' R.O.W	per Exhibit F.2
	MINOR ARTERIAL (50% of 86' ROW Dedication Only)	86' R.O.W	

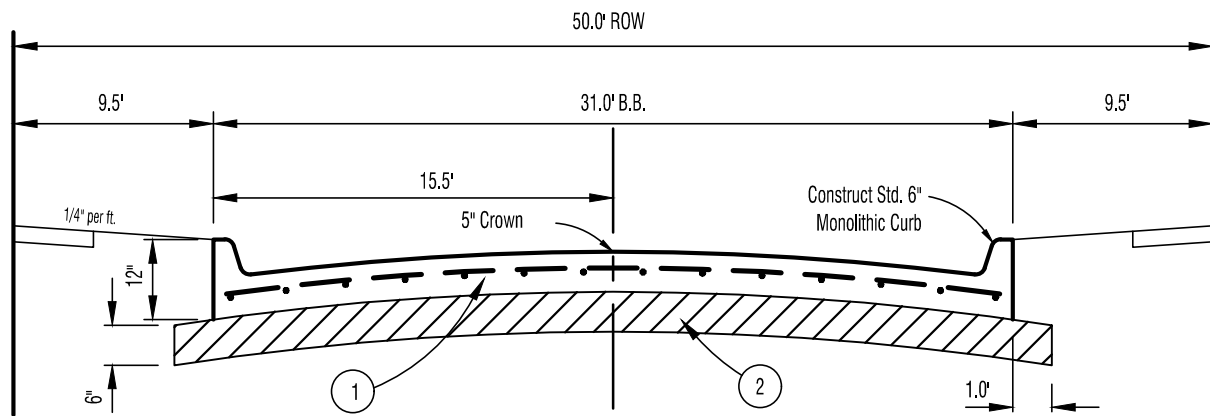
Proposed Trail System

GENERAL NOTES:

1. The thoroughfare alignment(s) shown on this exhibit are for illustration purposes only and does not set the alignment. The alignment is determined on final plat.
2. All roads, sidewalks, fire lanes, drive aisles and intersections will comply with the City Design Standards.
3. Any easements to be established will be identified and provided at time of platting.
4. Acreages, lot counts, and tabulations are subject to change as a result of further engineering and are considered approximate.
5. Graphic illustrations in the open spaces are not intended to communicate, show, or represent actual program elements, layout, or detailed landscape design.
6. Distances between property lines, street lines, alley lines; and driveway configurations will be established at time of platting. Design criteria for these distances will follow those standards outlined within the Planned Development (PD) for this project.



EXHIBIT "D" - LOCAL STREET



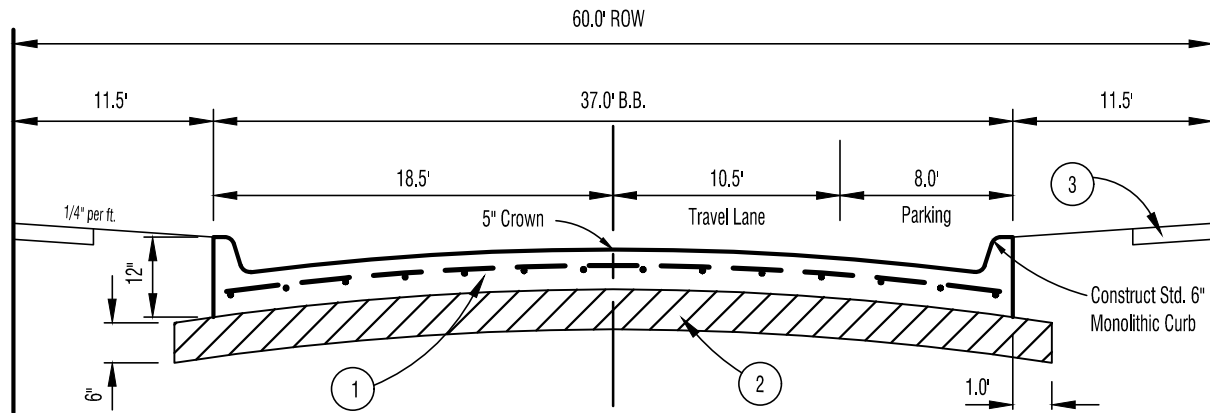
31' BB Pavement Section Not To Scale

- (1) 6" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- (2) 6" Lime Stabilized Subgrade

Shepherd's Place SHERMAN, TEXAS

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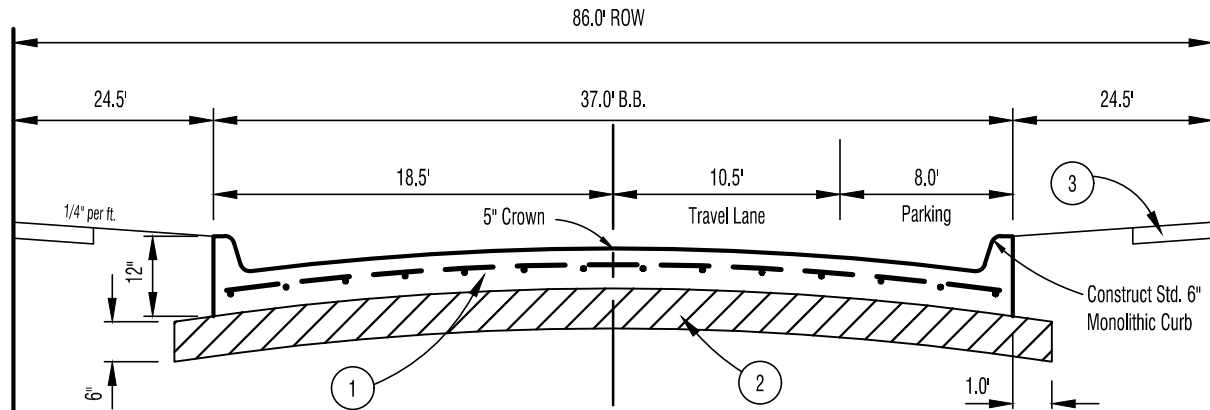
EXHIBIT "E.1" - RESIDENTIAL COLLECTOR



37' BB Pavement Section
Not To Scale

- ① 7" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- ② 6" Lime Stabilized Subgrade
- ③ 5' Sidewalk (Unless Otherwise Specified on Trail Plan, Exhibit_)

EXHIBIT "E.2" - RESIDENTIAL COLLECTOR



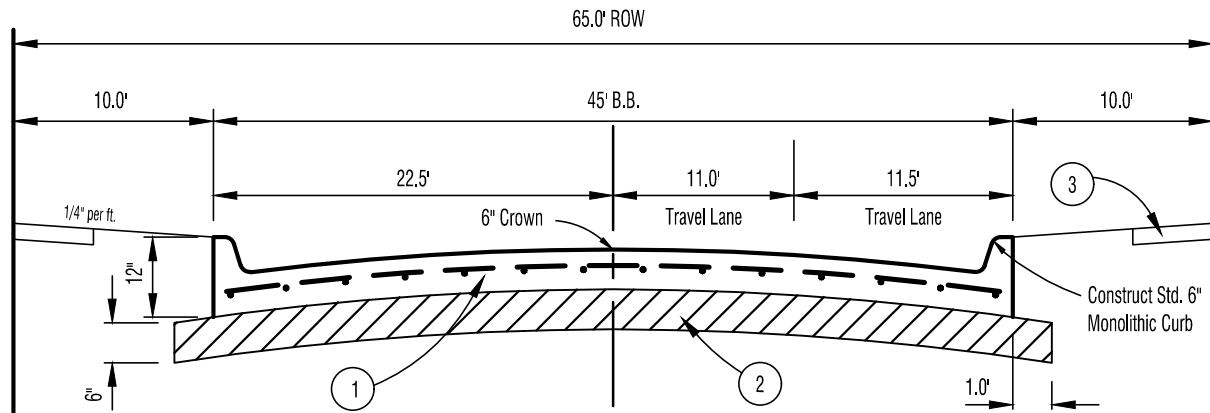
37' BB Pavement Section
Not To Scale

- ① 7" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- ② 6" Lime Stabilized Subgrade
- ③ 5' Sidewalk (Unless Otherwise Specified on Trail Plan, Exhibit_)

Shepherd's Place SHERMAN, TEXAS



EXHIBIT "E.3" - COMMERCIAL COLLECTOR



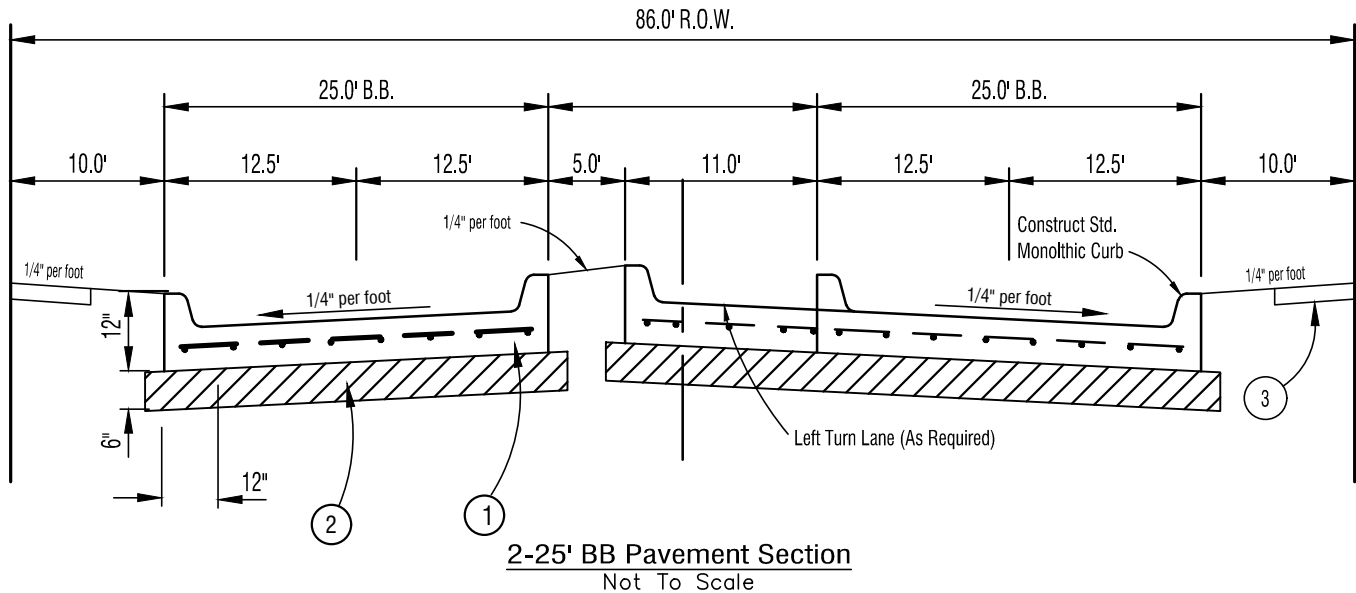
45' BB Pavement Section
Not To Scale

- 1 7" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- 2 6" Lime Stabilized Subgrade
- 3 5' Sidewalk (Unless Otherwise Specified on Trail Plan, Exhibit_)

Shepherd's Place SHERMAN, TEXAS

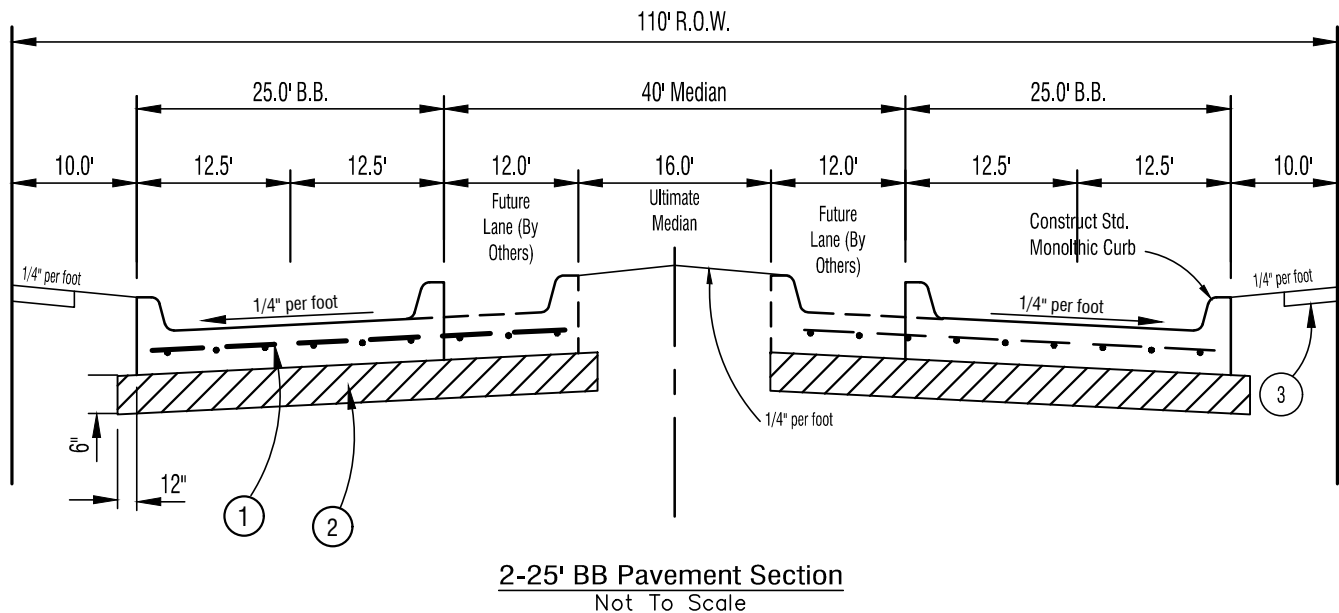
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EXHIBIT "F.1" - MINOR ARTERIAL



- ① 8" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- ② 6" Lime Stabilized Subgrade
- ③ 5' Sidewalk (Unless Otherwise Specified on Trail Plan, Exhibit_)

EXHIBIT "F.2" - MAJOR ARTERIAL



- ① 8" Thk. ~4000 P.S.I. Concrete Reinforced w/ No.3 Bars On 18" Centers Both Ways.
- ② 6" Lime Stabilized Subgrade
- ③ 5' Sidewalk (Unless Otherwise Specified on Trail Plan, Exhibit_)

Shepherd's Place SHERMAN, TEXAS



EXHIBIT "G" - Site Summary Table

Summary Table of Shepherd's Place			
	Acres	%	Units
Residential			
SF Residential	234.00 ac	44.1 %	(4.5/ac) 1053
Residential Flex	25.40 ac	4.7 %	(26/ac) 660
Multi-Family	29.00 ac	5.4 %	(40/ac) 1160
Residential Lease	25.50 ac	4.7 %	(12/ac) 306
Commercial			
Retail / Entertainment & other similar uses allowed by zoning ordinance	113.0 ac	21.4 %	n/a
Open Space			
Parks, Open Space, Buffers, and FP areas (Up to)	80.00 ac	15.0 %	n/a
Major Rights-of-Way			
Collector and Arterial Streets (excluding residential streets)	25.00 ac	4.7 %	n/a
Total Acres	531.87 ac	100 %	3179
Note: Above acreages, unit counts, and percentages are approximate only and will be adjusted and finalized at Site Plan Approval. They are intended only to set expectations for city services to the project.			

PROJECT:

Shepherd's Place
Central Exwy at Shepherd Road
Sherman, Texas



architecture planning

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phone: 972 387-1000 fax: 972 960-1129
www.hodgesusa.com

PROJECT NO.:

20102

DATE:

6-21-21

SHEET:

OF: