

I. INTRODUCTION

A. PURPOSE AND INTENT OF THE PLANNED DEVELOPMENT

The Pecan Grove Estates Planned Development District is a mixed-use development consisting of approximately 254 acres. The Property is located between US Highway 75 and Texoma Parkway and south of Fallon Drive. Characteristics of the site include wooded areas, small tributaries, and creeks, falling topography and adjacency to the abandoned railway that runs the entire length of the eastern boundary.

The primary land use will be a variety of residential uses, including multiple variations of single family detached units and two distinctive multi-family options. The remainder of the district will be comprised of Neighborhood Commercial and Public Park /Open Spaces, which are distributed throughout the site and take advantage of the natural features listed above. The use and development regulations set forth in the Pecan Grove Estates PD provides for and encourages a mix of housing types unique to a well-balanced master planned community.

B. DEVELOPMENT OBJECTIVES

The Developer of the Pecan Grove Estates Planned Development has advised the City that the development will address several issues concerning this area of Sherman through the following objectives:

- Provide quality development for future homeowners.
- Provide a variety of housing options.
- Utilize the natural characteristics and features within the district to provide meaningful and usable open spaces.
- Potentially solve traffic issues relating to current off-site land uses through road extensions and connections.

The design, development and use of the Property shall comply with this Ordinance, Sherman's Zoning Ordinance, the Zoning Exhibit, attached to the Ordinance as Exhibit C, the Open Space Plan, attached hereto as Exhibit D, the Hike and Bike Trail Plan, attached hereto as Exhibit E, and the following development standards:

I. LAND USE REQUIREMENTS / Base Zoning Districts

MF-15 District (± 26.1 acres) – That portion of the Property labeled “MF-15” on the Zoning Exhibit shall be developed and used in accordance with the standards applicable to the MF-15 District zoning classification of Sherman's Zoning Ordinance, as it exists or may be amended, except as expressly provided herein, and subject to the standards set forth herein.

MF-30 District (± 20.5 acres) – That portion of the Property labeled “MF-30” on the Zoning Exhibit shall be developed and used in accordance with the standards applicable to the MF-30 District zoning classification of Sherman's Zoning Ordinance, as it exists or may be amended, except as expressly provided herein, and subject to the standards set forth herein.

Residential District (± 172.4 acres) – That portion of the Property labeled “Residential” on the Zoning Exhibit shall be developed and used in accordance with the standards applicable to the R-12, R-6, R-5, R-4 or R-TH District zoning classifications of Sherman's Zoning Ordinance, as it exists or may be amended, except as expressly provided herein, and subject to the standards set forth herein.

C-N District (± 4.2 acres) – That portion of the Property labeled “Office/Commercial” on the Zoning Exhibit shall be developed and used in accordance with the standards applicable to the C-N (Neighborhood Commercial) District zoning classification of Sherman's Zoning Ordinance, as it exists or may be amended, except as expressly provided herein, subject to the standards set forth herein, and further provided that the following land uses shall not be allowed within the District or otherwise on the Property, notwithstanding any statement to the contrary in the Zoning Ordinance, as it exists or may be amended:

Halfway House

Electric power substation or generating including ground-mounted solar and wind

Sewage Treatment Plant

Water Treatment Plant

Sexually Oriented Business

Tattoo Studio

II. SITE DEVELOPMENT STANDARDS

A. HIKE AND BIKE TRAILS

Hike and Bike Trails within the Property shall be located as shown in Exhibit E and shall connect parks and open spaces and provide access to the future Katy Trail. Hike and bike trails shall have a minimum width of eight (8) feet. Sidewalks adjacent to local streets shall have a minimum width of five (5) feet in width. The Katy Trail shall have a minimum width of twelve (12) feet.

III. BUILDING DESIGN STANDARDS

For each standard identified below, the following building height, building line, lot area and special regulations shall apply. Building heights shall be measured from the ground immediately adjacent to the foundation to the eave line of the building.

A. RESIDENTIAL STANDARDS

1. Single Family Homes

- These units shall be in a variety and range of sizes to promote a diversity of housing options.
- These units shall follow the base zoning districts of R-12, R-6, R-5, R-4 or R-TH of Sherman's Zoning Ordinance, as it exists or may be amended, except as noted herein, and shall be varied throughout the areas labeled as "Residential" on the Zoning Exhibit, subject to the standards set forth herein.
- Units developing under the R-TH district as a base zoning district shall be limited to no more than 15 acres within the Residential District.
- Single family homes, detached or attached, may be front entry or alley served.
- Requirements for Floor Area:

R-12	1,800 sf
R-6	1,500 sf
R-5	1,400 sf min., 3,200 sf max.
R-4	1,200 sf min., 2,700 sf max.
R-TH	1,000 sf
- Maximum Number of R-5 and R-4 Single-Family Dwelling Units:

R-5	360 units
R-4	200 units
- Recreational vehicles, travel trailers or motor homes may not be used dwelling purposes on the Property.
- Minimum two car garage spaces shall be provided; The elimination of a garage space to allow for a habitable purpose shall not be allowed.
- Accessory Dwellings may be permitted on lots developed under the R-12 zoning district.

2. Multi-Family

- Cottage style units are permitted within either multi-family zoning district, consisting of one or two dwelling unit structure. These structures may have attached or unattached garages or uncovered parking spaces.
- Recreational vehicles (ATVs, Boats, Jet Skis), travel trailers or motor homes may not be stored within parking areas.

EXHIBIT B - DEVELOPMENT STANDARDS

B. COMMERCIAL STANDARDS

- There shall be no minimum lot area on that portion of the Property labeled “Office/Commercial” on the Zoning Exhibit.

IV. ARCHITECTURAL STANDARDS

- The following materials shall be prohibited in the construction of Residential structures:
 - Metal Siding
 - Vinyl Siding
 - Wood Siding
- The following materials shall be prohibited in the construction of Commercial structures:
 - Vinyl siding
 - Wood Siding

V. LANDSCAPE STANDARDS

A. LANDSCAPE

1. Definition: Landscaping shall be defined for the purposes of these requirements, as plant material including, but not limited to, grass, ornamental grasses, trees, shrubs, flowers, vines and other ground cover. Materials such as decorative stone, boulders or decomposed granite shall also be included as part of the landscaping definition.
2. Compliance: Landscaping shall conform to the following:
 - Landscaping shall be required on all developments and shall be completed prior to the issuance of a certificate of occupancy.
 - All landscaping should be installed to avoid hazards.
 - City approval of a Landscape Plan is required at the time of Detailed site Plan approval.
 - This document shall apply to all new construction and their respective permitted accessory uses.
3. Parking Lots and Streets:
 - Screening of non-residential parking lots over twenty-five (25) spaces shall be landscaped.
 - Landscaping shall consist of a combination of such plant materials as follows: ground cover, ornamental grasses, shrubs, vines, hedges, trees, or other such materials.
 - Required street trees will be planted within the streetscape areas adjacent to rights-of-way.
 - Required street trees may be clustered to facilitate a creative design, for safety reasons or to provide visibility.
 - For Minor Arterial or Collector Street sections, street trees will be provided every two hundred (200) linear feet.
 - Street trees shall be at least three (3) caliper inches in diameter at time of planting.

EXHIBIT B - DEVELOPMENT STANDARDS

B. SCREENING

1. Landscaping may be used as a screening method.
2. If landscaping is used as a screen, the minimum height at installation shall be three (3) feet.
3. Masonry walls shall be a permitted screening option.
4. Wood opaque fencing shall be permitted as a screening option.
5. Decorative Metal opaque fencing shall be permitted as a screening option.
6. Privacy fences in the residential areas shall consist of wood, ornamental metal with a consistent design and finished in black, or masonry fence materials.
7. Fence and wall locations and materials will be approved as part of the detailed site plan approval.
8. Fences and walls consisting of materials or locations not addressed in this section, may be approved as part of the detailed site plan approval.
9. Site features noted below shall be screened in accordance with the above requirements:
 - Rear Yards for Non-Residential uses, to include Multi-Family.
 - Loading Docks.
 - Solid Waste Receptacles/Trash Bins.
 - Ground-Mounted Equipment.
10. Fences and Walls:
 - For residential areas, no fence, wall or enclosure wall shall exceed a height of eight (8) feet.
 - For commercial areas, no fence, wall or wall enclosure shall be less than six (6) feet nor greater than ten (10) feet for security purposes.

VI. PARKS and OPEN SPACE STANDARDS

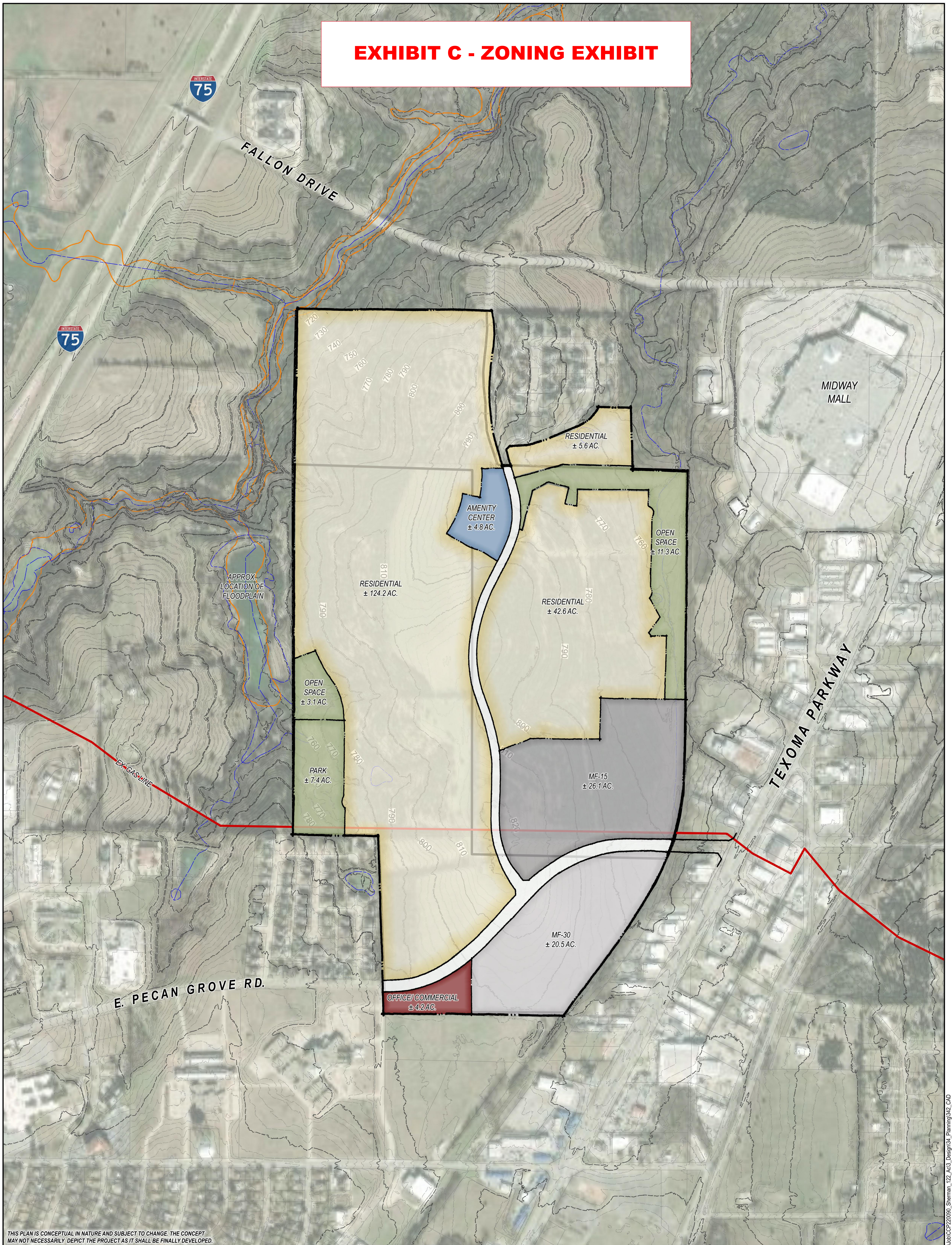
The Property shall be developed in accordance with the Open Space Plan attached as Exhibit D.

A. TRAILS

Materials for trail construction are permitted to be concrete, decomposed granite, or other durable and applicable material suitable for trails as submitted by developer and approved by the Director of Development Services.

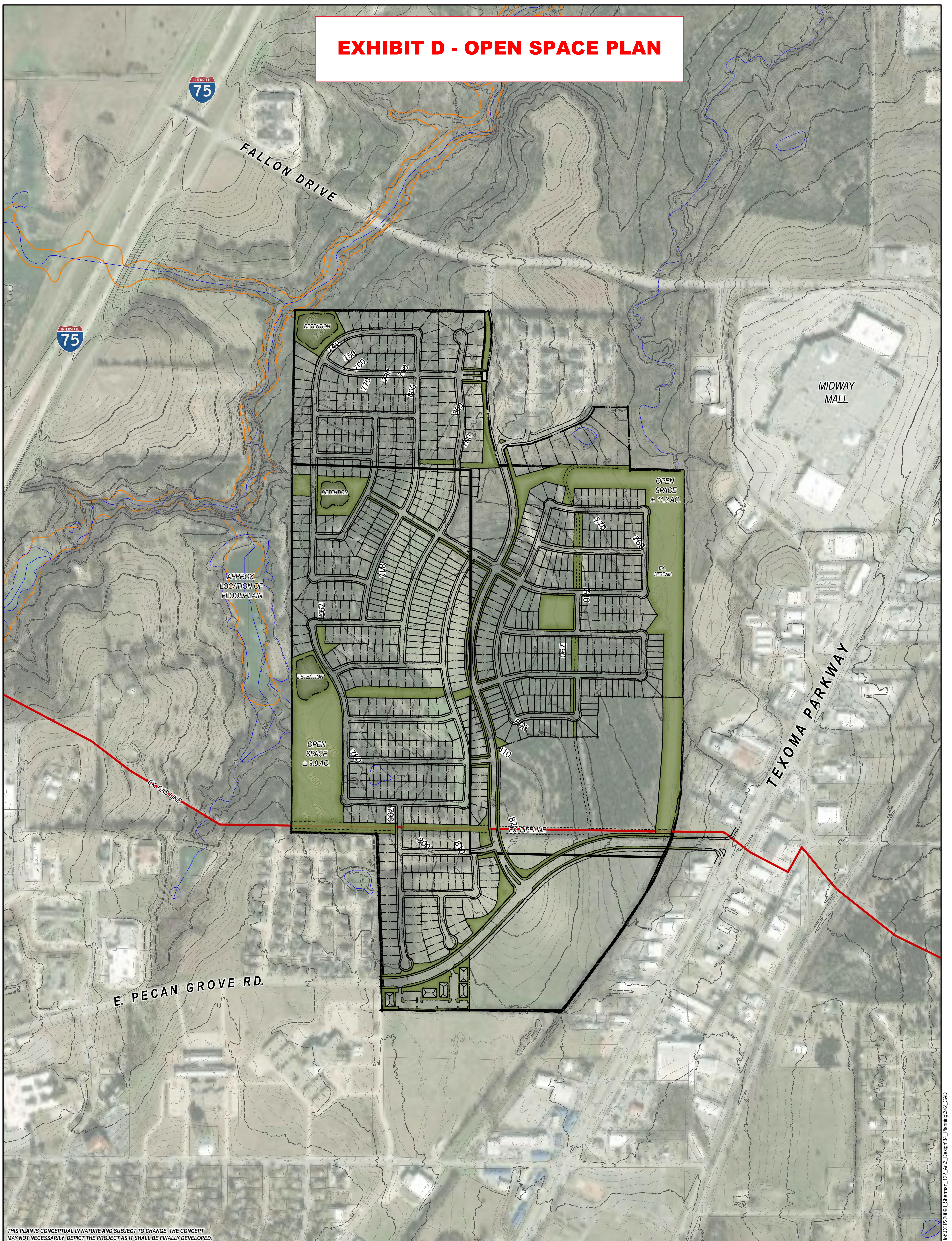
Right-of-way for the Katy Trail, as identified in the City of Sherman Trails Master Plan, shall be dedicated at the time of platting for the phase of development directly adjacent to the proposed trail.

EXHIBIT C - ZONING EXHIBIT



THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. THE CONCEPT MAY NOT NECESSARILY DEPICT THE PROJECT AS IT SHALL BE FINALLY DEVELOPED.

EXHIBIT D - OPEN SPACE PLAN



THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. THE CONCEPT MAY NOT NECESSARILY DEPICT THE PROJECT AS IT SHALL BE FINALLY DEVELOPED.

EXHIBIT E - HIKE AND BIKE TRAIL PLAN



THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE. THE CONCEPT MAY NOT NECESSARILY DEPICT THE PROJECT AS IT SHALL BE FINALLY DEVELOPED.