

HERITAGE RANCH PLANNED DEVELOPMENT

Revised 7 OCTOBER 2024

11 DECEMBER 2020



HERITAGE RANCH

PLANNED DEVELOPMENT

Revised 16 SEPTEMBER 2024

11 DECEMBER 2020

Submitted to:

City of Sherman



Submitted by:



Prepared by:



JHP

Architecture/Urban Design

Exhibit B - Development Standards



Thank you for the opportunity to submit this Planned Development (PD) document to the City of Sherman. This document should be considered the Development Plan which contains the written terms and standards necessary to ensure compliance with the PD objectives and plans. Also, included in this document is the Conceptual Plan for the Heritage Ranch PD. The Conceptual Plan graphically defines the applicant's current intent for the development of the proposed Planned Development. The Conceptual Plan shows general land use areas, acreages and maximum densities, primary street circulation and access points, floodplains, open space, parks and pedestrian trail areas. We are excited about this Development Plan and the community it defines.

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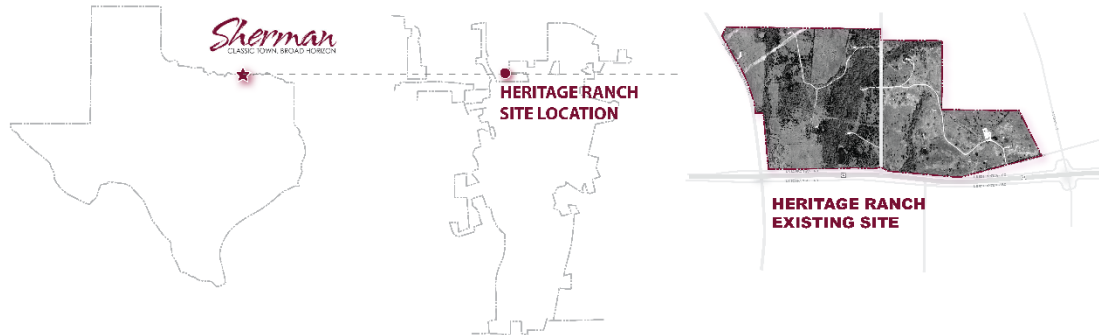
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I. INTRODUCTION

A. PLAN OVERVIEW AND SITE



The **Heritage Ranch Planned Development (PD)** is a multi-use development and community encompassing approximately 439-acres located in and adjacent to Sherman, Texas (the “Development”). The Planned Development offers a potential future mix of commercial and residential opportunities complimented with areas set aside as parks, lakes and open space amenities. The use and development regulations set forth in the Heritage Ranch PD provides for and encourages development that contains a compatible mix of uses to allow citizens and visitors to work, play and recreate within the development.

In the event of a conflict between the City of Sherman Code of Ordinances and the regulations and standards contained in this document, this document shall control. Whenever this document is silent upon a regulation or design standard the City of Sherman Code of Ordinances shall control. Words shown in all CAPITAL LETTERS are defined terms in Section VIII. Definitions.

This 439-acre site is well located for land development. The site is located within the growing northwest quadrant of Sherman having Highway US 82 as its southern boundary and being less than a mile from Highway US 75 to the east. The US 75 corridor just north of US 82 has been one of the most active commercial destinations in Sherman. The site in bound by FM 1417 (North Heritage Parkway) on the west and connected to North Travis to the immediate east. The property is blessed with a rolling terrain that will aid development and potentially allow the owner to create a chain of lakes to link the development together and provide an amenity for citizens in Sherman.

Sherman is the county seat of Grayson County, Texas. The city’s population is estimated at 43,662 in early 2020. It is one of the two principal cities in the Sherman–Denison Metropolitan Statistical Area, and it is part of the Texoma region of North Texas and southern Oklahoma, which establishes a large regional trade area for this site.

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B. DEVELOPMENT OBJECTIVES

The Heritage Ranch PD addresses the physical relationship between development and adjacent properties, public streets, neighborhoods, and the natural environment through the following set of development objectives:

- *Create a quality development which will provide new jobs, quality homes and provide added revenue for the City of Sherman via sales and property tax income.*
- *Offer the potential for a variety of housing types responsive to current and future residents' desire for a mix of housing types.*
- *This plan offers the City of Sherman the potential for unique and special entertainment that can be the definition of destination orientated.*
- *Creating quality residential and non-residential development.*
- *Enhance the natural resources of the site to create land use value from the development of parks, lakes and open space as amenities for the community.*

C. PLANNED DEVELOPMENT PURPOSE

The (PD) Planned Development is intended to provide for combining and mixing uses into integral land use units such as employment and commercial centers; residential developments with multiple or mixed housing types; or any appropriate combination of uses which may be planned, developed or operated as integral land use units, whether by a single owner or a combination of owners.

D. COMPONENTS OF THE PLANNED DEVELOPMENT

The Heritage Ranch PD is organized in the following manner with each element defining specific items and development patterns being executed in this plan.

A. Conceptual Plan

The provisions of this document are presented through a Conceptual Plan with accompanying standards and design guidelines. The Conceptual Plan includes a depiction of general area regions, and general circulation patterns. The allocation of specific land uses, buildings and the proposed road network will be identified as specific development plans come forward at the Detailed Site Plan stage.

The Conceptual Plan is an overall guide to the development of the community. The Conceptual Plan illustrates a balanced community that incorporates residential, commercial, and entertainment uses in a walkable pedestrian community.

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The Conceptual Plan is attached and incorporated herein as Exhibit “A” – Conceptual Plan and shall serve as the overall land use plan for the development. Included with Exhibit A is a table which summarizes the general land use acreage depicted on the Conceptual Plan. The acreage and regions shown thereon reflects general area and may be modified by up to 20% more or less to respond to specific changes in the market, as authorized by the DIRECTOR. The Planning and Zoning Commission may approve deviations of more than 20% but not more than 30% with the approval of a formal amendment to this document.

B. Open Space Framework Plan

This framework plan depicts the general physical location of park, open space and pedestrian trail amenities. These locations and alignments relate to future roadways and possible divisions of land use types. Some of these separations are created in their location due to an existing utility easement or ROW. It is the desire that these locations will correspond to a well-planned and pedestrian connected community. The lakes and adjacent space are formed in part due the existing topography and surface watershed. Again, it is the desire that the potential lake and/or lakes will be a signature element for the Heritage Ranch PD.

The Open Space Framework Plan is attached and incorporated herein as Exhibit “B” – Open Space Framework Plan and shall serve as the guiding document for the general locations and types of open spaces and trails that shall be provided in the Development. The exact location of each open space and trail shall be determined at the time of platting but shall generally follow the layout identified in the Open Space Framework Plan.

C. Transportation Master Plan

This supporting framework plan defines the general location of vehicular transportation routes. These locations relate to future streets and roadways being planned and constructed. All of the roads listed and their specific dimensions are from the current City of Sherman Throughfare Plan. These roadways are planned to align with other existing adjacent roads (Plainview Road and Rex Cruse Drive) also per the current City of Sherman Throughfare Plan. It is the desire of the Heritage Ranch PD to create a transportation network that allows good mobility to and from this site along with connectivity across Sherman.

The Transportation Master Plan is attached and incorporated herein as Exhibit “C” – Transportation Master Plan, and shall serve as the guiding document for the general locations and designs of ingress and egress to the development from public thoroughfares and the general locations of collector and arterial streets within the development. The exact locations of the access points to the development from public thoroughfares and the exact layout and design of collector and arterial streets within

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the development shall be determined at the time of platting, but shall generally follow the Transportation Master Plan.

D. Land Use Requirements

This PD is divided into four (4) regions as identified in the Concept Plan. Each region is intended to allow for the development of unique and complimentary uses to the other regions, and especially those regions adjacent to one another. The following uses are the allowable (permitted) uses for each region. No other uses shall be permitted without approval by the Director.

Permitted Uses – Commercial

This region is primarily intended for mixed-use retail, commercial and office uses.

Permitted Uses

AMUSEMENT SERVICES
BED AND BREAKFAST
CAR WASH
CHILDCARE FACILITY
CHURCH/PLACE OF WORSHIP
CIVIC CENTER
COMMUNITY SERVICE
DWELLING, MULTI-FAMILY
EDUCATIONAL FACILITY
ENTERTAINMENT
EXHIBITION HALL
FRATERNAL ORGANIZATION, LODGE, CIVIC CLUB, OR UNION
FUEL SALES
HOSPITAL
HOTEL
KIOSK
MANUFACTURING BUSINESS
MARKET (PUBLIC)
MEDICAL OFFICE/SERVICE
MICROBREWERY
OFFICE
OUTDOOR RECREATION
PARK/PLAYGROUND
PROFESSIONAL SERVICES
PUBLIC GARAGE/PARKING STRUCTURE
RESTAURANT
RETAIL
SCHOOL, OTHER
SEASONAL USES
SERVICE BUSINESS

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TELEMARKETING AGENCY
UTILITIES (PUBLIC)
VETERINARIAN CLINIC

Permitted Uses – Entertainment

The Entertainment Region for events, mixed-use retail, and commercial uses.

Permitted Uses

AGRICULTURE
AMUSEMENT SERVICES
ARENA
BED AND BREAKFAST
CHURCH/PLACE OF WORSHIP
CIVIC CENTER
COMMUNITY SERVICE
DWELLING, MULTI-FAMILY
ENTERTAINMENT
EXHIBITION HALL
FUEL SALES
HOSPITAL
HOTEL
KIOSK
LIVESTOCK SHOWING
LIVESTOCK STABLES
MANUFACTURING BUSINESS
MARKET (PUBLIC)
OFFICE
OUTDOOR RECREATION
PRIVATE CLUB
PUBLIC GARAGE/PARKING STRUCTURE
RESTAURANT
RETAIL
SEASONAL USES
SERVICE BUSINESS
UTILITIES (PUBLIC)
VETERINARIAN CLINIC

Permitted Uses - Residential

This region is intended for a variety of residential development of varying DENSITY. Residential development within these areas consist of single-family and multi-family residences and TOWNHOUSES as the primary uses.

Permitted Uses

ACCESSORY DWELLING
ACCESSORY STRUCTURES
ASSISTED LIVING FACILITY

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CHILDCARE FACILITY
CHURCH/PLACE OF WORSHIP
COMMUNITY SERVICE
CONTINUING CARE RETIREMENT COMMUNITY
CONVALESCENT AND NURSING HOME
DWELLING, MULTI-FAMILY
DWELLING, ONE-FAMILY
EDUCATIONAL FACILITY
FAMILY HOME
INDEPENDENT SENIOR LIVING FACILITY
MEDICAL OFFICE/SERVICES
OUTDOOR RECREATION
PARK/PLAYGROUND
SCHOOL (K THROUGH 12)
TOWNHOUSE
UTILITIES (PUBLIC)

Permitted Uses – Park and Open Space

This region is primarily intended for outdoor uses.

Permitted Uses

COMMUNITY GARDEN
GREENWAY
OPEN SPACE
OUTDOOR RECREATION
PEDESTRIAN TRAILS
PARK/PLAYGROUND
PUBLIC CORRIDOR
PUBLIC PARK, STATE PARK, MUNICIPAL PARK
PUBLIC PLAZA
PUBLIC STREETS
RESERVATION

The following uses shall be Prohibited Uses in the Commercial, Entertainment, Residential, and Park and Open Space Regions:

- Tattoo parlors
- Sexually oriented businesses
- Community Home
- Municipal – water treatment plant
- Municipal – wastewater treatment plant
- Electrical generating plant

E. Architectural Requirements

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The architectural standards section governs the Commercial, Residential, Entertainment and Park and Open Space regions for architectural elements and appurtenances related to the facade materials, roofs, service areas and other building standards.

F. Site Requirements

The site development standards section establishes the standards for public realm improvements, street types, widths, amenities and public spaces.

II. SITE DEVELOPMENT STANDARDS

The Site Development Standards section establishes the standards for public realm improvements, street types, widths, amenities and public spaces.

A. PUBLIC SPACES (*parks, trails, sidewalk, etc.*)

There are three (3) different types of public spaces in the Heritage Ranch PD -they include park and open space, pedestrian trails, and pedestrian sidewalks.

A. Park and Open Space

PARK and OPEN SPACE will be primarily green environment located along enhanced streets, lakes, and/or pedestrian corridors and will serve as a public destination. PARK and OPEN SPACE may include features such as pedestrian shade structures, tables, pedestrian benches, and walking paths. There is the possibility that some or all of the PARK and OPEN SPACE around the future lakes could be co-developed with the City of Sherman Parks Department for the use of citizens and flood retention (similar to Pecan Grove West and East Parks).

B. Pedestrian Trails

PEDESTRIAN TRAILS are to connect uses together and allow pedestrians a safe and healthy manner to traverse the development. Trails within the Heritage Ranch PD may run on existing utility easements and/or ROW's (overhead or underground).

C. Pedestrian Sidewalk

Within the Heritage Ranch PD pedestrian sidewalks will range from five feet to eight feet wide, as described in the Public Streets Section of this Document. The design intent provides enhanced pedestrian crossings at STREET INTERSECTIONS by minimizing curb to curb dimensions.

B. PUBLIC STREETS

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This Section describes proposed roadway design standards associated for the Heritage Ranch PD with each of the functional classifications as related to the City of Sherman Thoroughfare Plan. Roadway design standards are in the City of Sherman's Subdivision Ordinance and include roadway design criteria and cross section elements for Major Thoroughfares (arterial) and Collector and Local streets. While street classification reflects the functions that roadways serve as part of the street network, roadway design standards are related to traffic volume, design capacity, and level of service.

Minimum Driveway and Intersection Spacing and Separation:

- A. Driveway and intersection spacing** (distance between driveways, measured edge-to-edge):
1. Highway/Frontage Road—One (1) driveway per three hundred (300) linear feet of LOT FRONTAGE or TxDOT regulations if applicable.
 2. Minor Arterial street—One (1) driveway per one hundred fifty (150) linear feet of LOT FRONTAGE.
 3. Collector street—One (1) driveway per one hundred fifty (150) linear feet of LOT FRONTAGE.
 4. Minimum distance from driveway to street corner—Fifty (50) feet, as measured from the street corner radius point of tangency.

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B. Minor Arterial

Arterial streets form an interconnecting network for broad movement of traffic in the Heritage Ranch PD development. Arterials typically accommodate between 30 and 40 percent of an area's travel volume. Since traffic movement, not land access, is the primary function of arterial, access management is essential to avoid traffic congestion and delays caused by turning movements for vehicles entering and exiting driveways.

Minor Arterials focus on moving intra-regional traffic. These types of thoroughfares carry high volumes of traffic and also have relatively higher speeds as well. The number of lanes for a Minor Arterial are four (4) based on either the current or the future demands and the potential development. The cross section for this street type is shown below:

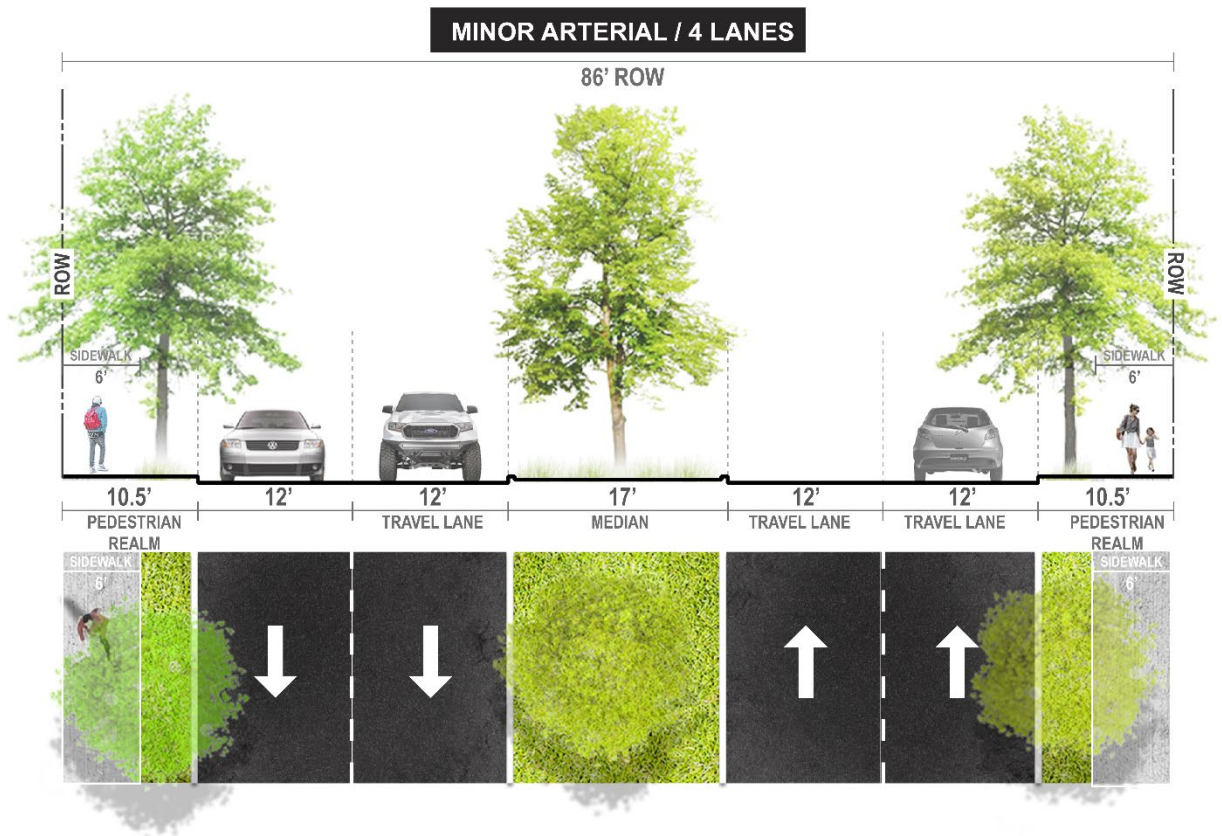


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C. Collector

Street layout plans: residential and commercial areas must include collector streets to provide efficient traffic ingress/egress and circulation. Since collectors generally carry higher traffic volumes than non-collector streets, they may require a modified roadway cross section at intersections with arterial streets to provide adequate capacity for both through traffic and turning movements. This cross section allows for painted center turn lanes, which provides opportunities to improve traffic flow in areas that have primary driveway locations and/or higher levels of turning traffic. This added left turn lane would serve as a transition and/or modification to the standard collector.

The collector serves uses related to commercial traffic and needs of surrounding residential neighborhoods. The cross section for this street type is shown below:

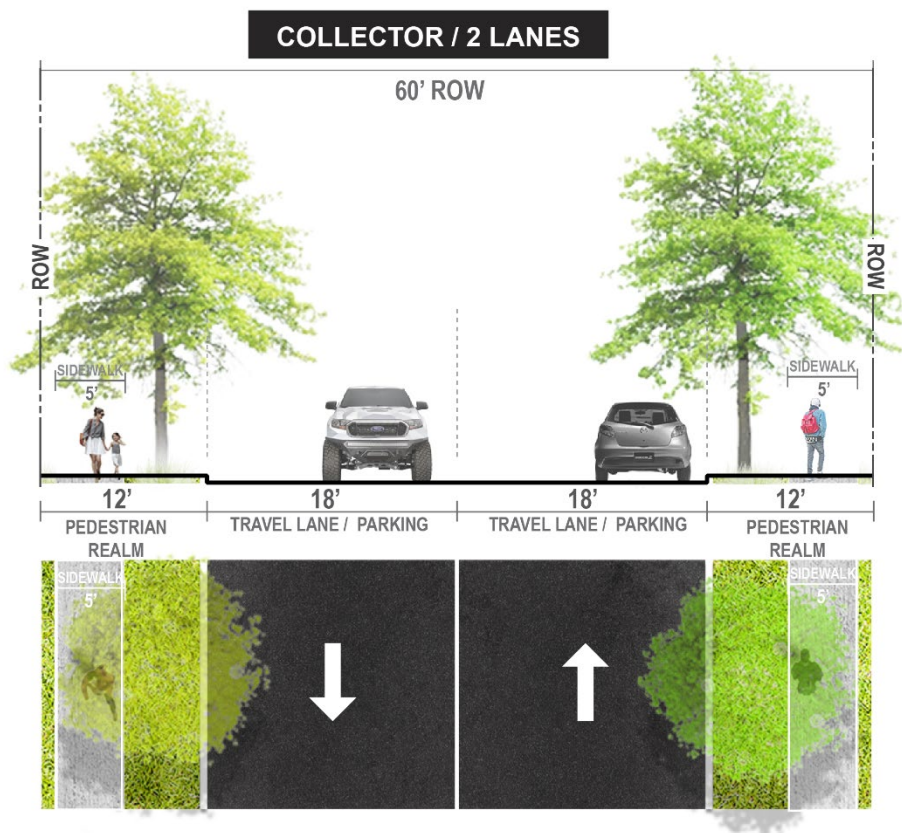
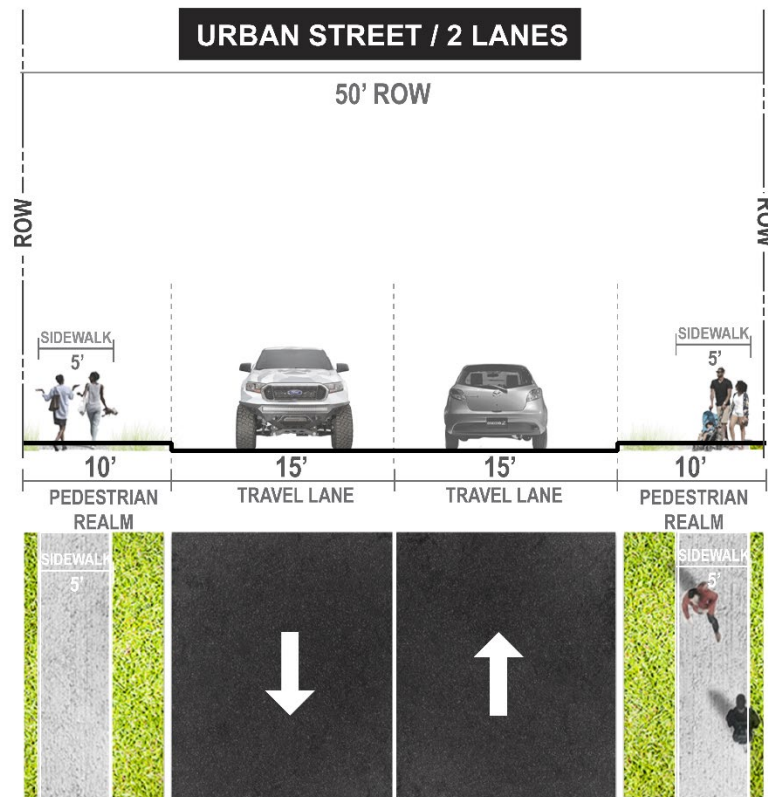


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D. Urban Street

The current Sherman standard for an urban street is a right-of-way width of 50 feet and a pavement width of 30 feet. However, these standards do not account for situations where less lane width may be acceptable due to lower DENSITY and fewer trips generated.



III. BUILDING TYPOLOGY DESIGN STANDARDS

The Building Typology Design Standards section establishes basic parameters for permitted and prohibited uses, building placement, lot widths, height, stories, and overall densities. Building Typologies for uses permitted with conditions that are not specified in the following sections shall be proposed to the CITY in a manner that satisfies the intent of this Planned Development.

For each standard set identified below, the following BUILDING HEIGHT, BUILDING LINE, LOT AREA and special regulations shall apply, provided that minor deviations therefrom which do not exceed 10% greater or lessor may be approved by the DIRECTOR if the minor deviation(s)

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is justified in order to meet the intent of this PD or there is an undue hardship which prevents full compliance with these Standards. BUILDING HEIGHTS will be measured from the ground immediately adjacent to the foundation to the eave line of the building. In the event that a Permitted Use in any standard sets does not have a corresponding height or area regulation specified herein, the height and area regulations for such use shall be those for uses most similar to such permitted use.

A. RESIDENTIAL STANDARDS

At least two of the following residential housing types shall be required in the Residential Region of this PD.

A. Multifamily/Apartments

- All multi-family apartment buildings within the residential district will be a minimum of two (2) STORIES and a maximum of five (5) STORIES.
- Maximum DENSITY 28 units per acre
- Maximum lot coverage: Sixty (60) percent total, including BUILDINGS and ACCESSORY STRUCTURE.
- Minimum requirements for LOT AREA, LOT WIDTH, and setback from LOT LINES:
 1. LOT AREA: ten thousand (10,000) square feet.
 2. FRONT YARD setback: fifteen (15) feet.
 3. Minimum SIDE YARD setback: ten (10) percent of the LOT WIDTH not to be less than five (5) feet, but need not exceed fifteen (15) feet; twenty (20) feet from a street right-of-way line for a CORNER LOT; unless adjacent to a single family, duplex, patio home or single family use, then side and rear setbacks shall be according to the height of the multifamily building, but not exceed fifty (50) feet.
 4. Minimum REAR YARD: ten (10) feet.
- Building separation: fifteen (15) feet
- Minimum Floor Area:
 1. Efficiency unit: four hundred fifty (450) square feet per unit.
 2. One-bedroom unit: six hundred (600) square feet per unit.
 3. Two or more-bedroom unit: eight hundred twenty-five (825) square feet for the first two bedrooms, plus an additional one hundred twenty-five (125) square feet for every bedroom over two. for example, a three-bedroom unit must have a minimum of nine hundred fifty (950) square feet.
- Recreational vehicles, travel trailers or motor homes may not be used for on-site dwelling or nonresidential purposes.
- *A maximum of 1,200 multi-family units are allowed in the Commercial and Entertainment District's combined.*

B. Townhouses

- TOWNHOUSES within the residential district shall have a maximum of three (3) floors.
- TOWNHOUSES are encouraged to be in a variety and range of sizes to encourage a diversity of housing opportunities.

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- TOWNHOUSES shall be grouped in a maximum of eight (8) attached TOWNHOUSES.
- TOWNHOUSES may be served by rear ALLEYS or front-facing garages.
- TOWNHOUSES can be a “for sale” or “for rent” product type
- Maximum lot coverage: Sixty-five (65) percent total, including BUILDINGS and ACCESSORY STRUCTURE.
- Minimum requirements for LOT AREA, LOT WIDTH, and setback from LOT LINES
 1. LOT AREA: one thousand seven hundred (1,700) square feet
 2. LOT WIDTH: twenty (20) feet
 3. FRONT YARD: ten (10) feet
 4. SIDE YARD: zero (0) feet for any side abutting another unit; five (5) feet for any side not abutting another unit
 5. REAR YARD: ten (10) feet
- Building Separation: fifteen (15) feet
- Recreational vehicles, travel trailers or motor homes may not be used for on-site dwelling or nonresidential purposes.
- Open storage is prohibited (except for materials for the resident's personal use or consumption such as firewood, garden materials, farm equipment, etc., which cannot be stored in any required setback and which shall be screened from view of PUBLIC STREETS and neighboring properties).

C. Patio Homes

- Patio homes are encouraged to be in a variety and range of sizes to encourage a diversity of housing opportunities.
- Patio homes may be served by rear ALLEYS or front-facing garages.
- Patio homes within the residential district shall be a maximum of two (2) floors – with occupied attic space/dormers allowed.
- Patio homes can be a “for sale” or “for rent” product type
- Maximum lot coverage: sixty-five (65) percent total, including BUILDINGS and ACCESSORY STRUCTURE.
- Minimum requirements for LOT AREA, LOT WIDTH, and setback from LOT LINES:
 1. LOT AREA: three thousand (3,000) square feet
 2. LOT WIDTH: thirty (30) feet
 3. FRONT YARD: fifteen (15) feet
 4. REAR YARD: ten (10) feet
 5. SIDE YARD:
 - Option One: five (5) feet each side ten (10) feet on CORNER LOTS adjacent to a street right of way line.
 - Option Two: one (1) foot on one side yard and nine (9) feet on the other side yard. Applies to INTERIOR LOTS only. A five (5) foot maintenance EASEMENT is required on the LOT that adjoins the one (1) foot side of the adjacent LOT for maintenance.
- Open storage is prohibited (except for materials for the resident's personal use or consumption such as firewood, garden materials, farm equipment, etc., which cannot be stored in any required setback and which shall be screened from view of PUBLIC

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STREETS and neighboring properties).

- Recreational vehicles, travel trailers or motor homes may not be used for on-site dwelling purposes.
- The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited.

D. Single Family Homes

- Single family homes are encouraged to be in a variety and range of sizes to encourage a diversity of housing opportunities.
- Single family homes may be served by rear ALLEYS or front-facing garages.
- Single family homes within the residential district shall be a maximum of two (2) floors – with occupied attic space/dormers allowed.
- Single family homes can be a “for sale” or “for rent” product type
- Maximum lot coverage: Fifty (50) percent total, including BUILDINGS and ACCESSORY STRUCTURE.
- Minimum requirements for LOT AREA, LOT WIDTH, and setback from LOT LINES:
 1. LOT AREA: three thousand two hundred (3,200) square feet
 2. LOT WIDTH: forty (40) feet
 3. FRONT YARD: ten (10) feet
 4. REAR YARD: ten (10) feet
 5. SIDE YARD: five (5) feet each side; ten (10) feet on CORNER LOTS adjacent to a street right of way line
- Open storage is prohibited (except for materials for the resident's personal use or consumption such as firewood, garden materials, farm equipment, etc., which cannot be stored in any required setback and which shall be screened from view of PUBLIC STREETS and neighboring properties).
- Recreational vehicles, travel trailers or motor homes may not be used for on-site dwelling purposes.
- The elimination of a garage space by enclosing the garage with a stationary building wall shall be prohibited

E. Non-residential Uses

DETAILED SITE PLAN approval shall be required by Planning and Zoning Commission and City Council to establish BUILDING HEIGHT, BUILDING LINE, LOT AREA and special regulations for any non-residential use listed as a Permitted Use in the Residential Region.

B. COMMERCIAL STANDARDS

A. Retail

- RETAIL will consist of various building typologies - such as large box retail, in-line retail, single use retail, and RESTAURANTS. Each typology will have potentially a different BUILDING HEIGHT and design guidelines.

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- There will no minimum LOT AREA limitations. Minimum BUILDING LINES will be established on a recorded plat; provided that if no BUILDING LINES are established on an approved site plan, the minimum FRONT YARD setback for the MAIN BUILDING may vary between ten (10) and twenty-five (25) feet; no minimum SIDE YARD setback is required as long as adjacent buildings conform to the CITY'S Building Code; and there will be no minimum REAR YARD setback.
- Floor to area ratio (F.A.R.): The gross square footage of all structures, including primary and all ACCESSORY STRUCTURES, shall not exceed an amount equal to the square footage of the LOT or TRACT in which they are located (1:1).

B. Office

- OFFICE use will consist of various building typologies – such as larger corporate office buildings, small multi-tenant office buildings, and flex office buildings intended for assemblage and manufacturing uses. Each typology will have potentially a different BUILDING HEIGHT and design guidelines.
- Maximum height: five (5) STORIES.
- Minimum LOT AREA: none.
- Minimum side and rear yards:
 1. When nonresidential uses are platted adjacent to other nonresidential uses and integrated into an overall development with lots or lease spaces abutting one another, no side yard is required provided that the CITY'S Building Code requirements have been met.
- Floor to area ratio (F.A.R.): The gross square footage of all structures, including primary and all ACCESSORY STRUCTURES, shall not exceed an amount equal to the square footage of the LOT or TRACT in which they are located (1:1).
- There will no minimum LOT AREA limitations. Minimum BUILDING LINES will be established on a recorded plat; provided that if no BUILDING LINES are established on an approved site plan, the minimum FRONT YARD setback for the MAIN BUILDING may vary between ten (10) and twenty-five (25) feet; no minimum SIDE YARD setback is required as long as adjacent buildings conform to the CITY'S Building Code; and there will be no minimum REAR YARD setback.

C. Hotel (Full and Limited Service)

- The standards and criteria contained within this section are deemed to be minimum standards and shall apply to all new HOTEL buildings in the Heritage Ranch development.
- HOTEL shall be defined as a building with habitable rooms or suites which are reserved for guests who rent the rooms or suites on a daily basis, and with controlled access to the rooms via a lobby or interior hallway.
- The establishment shall furnish customary hotel services such as linen, maid service, telephone, use and upkeep of furniture.
- Building articulation shall be included on all facades.
 1. A porte-cochere or other covered area shall be provided immediately adjacent to the building entrance nearest the registration desk.

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2. Exterior balconies shall not be allowed within two hundred (200) feet of any residentially zoned property.
3. All full service HOTELS may provide:
 - Swimming pool.
 - Other recreational facilities such as, but not limited to, exercise rooms equipped with exercise equipment, tennis or racquetball courts, spas, or game areas.
 - Full-service HOTELS shall provide a full-service RESTAURANT.
 - Meeting or conference facilities
- Maximum height: six (6) STORIES
- There will no minimum LOT AREA limitations. Minimum BUILDING LINES will be established on a recorded plat; provided that if no BUILDING LINES are established on an approved site plan, the minimum FRONT YARD setback for the main building may vary between ten (10) and twenty-five (25) feet; no minimum SIDE YARD setback is required as long as adjacent buildings conform to the CITY'S Building Code; and there will be no minimum REAR YARD setback.

C. ARENA / ENTERTAINMENT

- The arena/entertainment district is designed to encourage the concentration of recreational, entertainment and cultural uses to complement the development's HOTEL/convention center.
- Paved sidewalks, driveways and parking areas are required.
- Temporary overflow parking for events may be paved but can be grass, gravel, or other methods.
- Off-site parking shall be allowed adjacent to the arena site.
- Overnight trailer parking and RV hookups shall be screened from view of public roadways.
- Recreational vehicles, travel trailers or motor homes may be used on a temporary basis during events.
- All rooftop equipment shall be screened from view.
- Screening of loading and storage facilities is required.
- All horse stables and other animal holding areas should be fenced or screened from PUBLIC VIEW.
- There will no minimum LOT AREA limitations. Minimum BUILDING LINES will be established on a recorded plat; provided that if no BUILDING LINES are established on an approved site plan, the minimum FRONT YARD setback for the main building may vary between ten (10) and twenty-five (25) feet; no minimum SIDE YARD setback is required as long as adjacent buildings conform to the CITY'S Building Code; and there will be no minimum REAR YARD setback.

D. HEIGHT LIMIT EXCEPTIONS

- Unless noted in this PD, no specific BUILDING HEIGHT limits in the commercial or arena/entertainment standards.
- For all design categories, architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including but not

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limited to spires, belfries, towers, cupolas, domes, and roof forms shall not count towards BUILDING HEIGHT limitations.

- For commercial areas, mechanical equipment, including mechanical/elevator equipment enclosures, ventilation equipment, chimneys, exhaust stacks and flues, fire sprinkler tanks, and other similar constructions may extend above the actual BUILDING HEIGHT.

IV. ARCHITECTURAL STANDARDS

The Architectural Standards section will govern residential and commercial architectural elements and treatments related to the facade materials, roofs, service areas and other elements and standards.

The DIRECTOR may approve alternative exterior building materials if he/she determines that such materials are equivalent or better than those required herein and the same enhance the architectural design and creativity of the building or structure and do not adversely impact surrounding developed properties.

A. RESIDENTIAL - MULTIFAMILY / APARTMENTS

A. Façade Materials

1. Permitted primary building materials (which must cover not less than 75% of the area of the facade) should be:
 - Masonry/stone
 - Stucco/plaster
 - Cementitious siding [Hardie-plank™ or equivalent]
 - Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. Accent Elements

1. Multi-family/apartment accent building materials (which may cover no greater than 25% of the area of the facade) may be:
 - Pre-cast masonry (for trim and cornice elements only)
 - Gypsum reinforced fiber concrete (for trim elements only)
 - Metal (for beams, lintels, trim elements and ornamentation only)
 - Honed, colored or split-faced Concrete Masonry Unit (CMU) block (only for piers, foundation walls and chimneys)

C. Building Awnings and Canopies

1. Awnings and canopies when used should be architectural and constructed with fully OPAQUE materials that complement the building's character.
2. Awnings and canopies shall not be internally illuminated.

D. Building Roofs

1. Permitted roof materials:
 - Architectural asphalt shingles

Exhibit B - Development Standards

- Tile, clay or concrete (faux clay)
- Slate (equivalent synthetic or better)
- Metal (standing seam, equivalent or better)
- Roofing material may be monolithic Thermoplastic Polyolefin (TPO) membrane or equivalent material.

E. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.
2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the main structure, or a combination.
6. Perimeter fencing or screening shall not be required.
7. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
8. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

B. RESIDENTIAL – TOWNHOMES

A. Façade Materials

Facade treatments are those portions of a building's street elevation extending from the ground to the roof.

1. Permitted primary building materials (which must cover not less than 80% of the area of the facade) shall be:
 - Masonry/stone
 - Stucco/plaster
 - Cementitious siding [Hardie-plank™ or equivalent]
 - Wood siding
 - Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. Accent Elements

1. TOWNHOME accent building materials (which may cover no more than 20% of the area of the facade) may be:
 - Pre-cast masonry (limited trim and cornice elements only)
 - Gypsum reinforced fiber concrete (limited to trim elements only)
 - Metal (limited to roofing, beams, lintels, trim elements and ornamentation)
 - Honed, colored, or split-faced CMU block (but used only for piers, foundation walls and chimneys)

Exhibit B - Development Standards

C. Building Roofs

1. Permitted roof materials:
 - 30-year dimensional shingles
 - Tile, clay or concrete (faux clay)
 - Slate (equivalent synthetic or better)
 - Metal (may be limited to porches or accent roofs)
2. Roofing materials shall have a minimum 30-year rated warranty.
3. Authorized roof configurations:
 - Pitched roofs
 - Hip and gable roofs shall be symmetrically pitched 5:12 or greater.
4. Roofs, dormers and chimneys:
 - Dormers and chimney enclosures above the roof shall be finished with permitted primary building materials
 - Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior.

D. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

C. RESIDENTIAL - PATIO HOMES

A. Façade Materials

Facade treatments are those portions of a building's street elevation extending from the ground to the roof.

1. Permitted primary building materials (which must cover not less than 80% of the area of the facade) shall be:
 - Masonry/stone
 - Stucco/plaster
 - Cementitious siding [Hardie-plank™ or equivalent]
 - Wood siding
 - Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. Accent Elements

1. Accent building materials (which may cover no more than 20% of the area of the facade) may be:
 - Pre-cast masonry (limited trim and cornice elements only)
 - Gypsum reinforced fiber concrete (limited to trim elements only)
 - Metal (limited to roofing, beams, lintels, trim elements and ornamentation)
 - Honed, colored, or split-faced CMU block (but used only for piers, foundation walls and chimneys)

C. Building Roofs

Exhibit B - Development Standards

1. Permitted roof materials:
 - 30-year dimensional shingles
 - Tile, clay or concrete (faux clay)
 - Slate (equivalent synthetic or better)
 - Metal (may be limited to porches or accent roofs)
2. Roofing materials shall have a minimum 30-year rated warranty.
3. Authorized roof configurations:
 - Pitched roofs
 - Hip and gable roofs shall be symmetrically pitched 5:12 or greater.
4. Roofs, dormers and chimneys:
 - Dormers and chimney enclosures above the roof shall be finished with permitted primary building materials.
 - Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior.

D. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

D. RESIDENTIAL - SINGLE FAMILY HOMES

A. Façade Materials

Facade treatments are those portions of a building's street elevation extending from the ground to the roof.

1. Permitted primary building materials (which must cover not less than 80% of the area of the facade) shall be:
 - Masonry/stone
 - Stucco/plaster
 - Cementitious siding [Hardie-plank™ or equivalent]
 - Wood siding
 - Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. Accent Elements

1. Accent building materials (which may cover no more than 20% of the area of the facade) may be:
 - Pre-cast masonry (limited trim and cornice elements only)
 - Gypsum reinforced fiber concrete (limited to trim elements only)
 - Metal (limited to roofing, beams, lintels, trim elements and ornamentation only)
 - Honed, colored, or split-faced CMU block (but used only for piers, foundation walls and chimneys)

C. Building Roofs

1. Permitted Roof Materials:

Exhibit B - Development Standards

- 30-year dimensional shingles
 - Tile, clay or concrete (faux clay)
 - Slate (equivalent synthetic or better)
 - Metal (may be limited to porches or accent roofs)
 - Roofing materials shall have a minimum 30-year rated warranty.
2. Authorized roof configurations:
 - Pitched roofs
 - Hip and gable roofs shall be symmetrically pitched 5:12 or greater.
 3. Roofs, dormers and chimneys
 - Dormers and chimney enclosures above the roof shall be finished with permitted primary building materials.
 - Fireplace flues shall be enclosed and finished to be complimentary of the building's exterior.

D. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

E. COMMERCIAL – OFFICE

Prior to site and building permit requests, architectural building elevations shall be approved with the DETAILED SITE PLAN to ensure continuity and consistency of development of the Property.

A. Materials and Colors

1. Large expanses of smooth material (e.g. concrete) should be broken up.
2. Large expanses of highly reflective surface and mirror glass exterior walls should be avoided.
3. Materials and colors for wall and monument signs should be compatible with the MAIN BUILDING'S colors and materials.
4. All exterior materials, textures and colors shall be appropriate for the architectural style or theme of the building.
5. Compatible colors on a single facade, or composition, should seek to add interest and variety while reducing building scale.

B. Building Lighting

1. The design of the building's exterior light fixtures shall be architecturally compatible to the character of the development.

C. Roof Forms

1. The design of the building's roof forms and their structural supports shall be architecturally compatible with the image and character of the development.

D. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.

Exhibit B - Development Standards

2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the MAIN BUILDING, or a combination.
6. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
7. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

E. Canopies & Awnings

1. Canopies, awnings, arcades, and overhangs are encouraged over windows and entries along public sidewalks on the ground floor.
2. Canopies, awnings, and arcades should be designed with respect for the character and proportion of the building in terms of size, shape, and placement.
3. Use of a continuous awning for the windows on the upper floors is discouraged.
4. Brightly colored awnings are discouraged. Awnings should be compatible with the color and architectural style of the building.
5. Materials should be of the highest quality. Plastic or vinyl canopies should not be used.

F. Signage & Graphics

1. Signage may be wall-mounted, projecting, combined with awnings, or placed on windows.
2. Attached signage should consist of individual letters.

G. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

F. COMMERCIAL - FLEX OFFICE

Prior to site and building permit requests, architectural building elevations must be approved with the DETAILED SITE PLAN to ensure continuity and consistency of development of the Property.

A. Façades Materials

1. Long, blank facades should be avoided to the extent possible.
2. Facades of large buildings visible from a PUBLIC STREET should include architectural features such as reveals, windows and openings.
3. Primary building entries should be readily identifiable.
4. Steel/Metal siding
5. Steel structural supports

Exhibit B - Development Standards

B. Accent Elements

1. Accent building materials (near 5% of the area of the facade) may be:
 - Limestone
 - Other masonry
 - Hone, colored or split-faced CMU block

C. Materials and Colors

1. Large expanses of smooth material (e.g. concrete) should be broken.
2. Large expanses of highly reflective surface and mirror glass exterior walls should be avoided.
3. Compatible colors on a single facade, or composition, should add interest and variety while reducing building scale.

D. Roof Forms

1. The design of the building's roof forms and their structural supports shall be architecturally compatible with the image and character of the development.

E. Building Lighting

1. The design of the building's exterior light fixtures and their structural supports shall be architecturally compatible to the character of the development.

F. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.
2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the MAIN BUILDING, or a combination.
6. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
7. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

G. Building Signage

1. Signage may be wall-mounted, projecting, combined with awnings, or placed on windows.
2. Attached signage should consist of individual letters.

H. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

Exhibit B - Development Standards

G. COMMERCIAL - HOTEL (FULL AND LIMITED SERVICE)

Prior to site and building permit requests, architectural building elevations must be approved with the DETAILED SITE PLAN to ensure continuity and consistency of development of the Property.

A. Building Materials

All construction must have an exterior facade of a minimum of eighty (80) percent glass, brick, masonry, stone, stucco, EIFS, or other cementitious type of materials on each facade. The remaining twenty (20) percent may be of any other building code acceptable material of a contrasting color, texture, or design.

1. Large expanses of smooth material (e.g. concrete) should be broken up.
2. Large expanses of highly reflective surface and mirror glass exterior walls should be avoided.
3. All exterior materials, textures and colors should be appropriate for the architectural style or theme of the building.
4. Compatible colors on a single facade, or composition, should add interest and variety while reducing building scale.
5. Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. RV Parking

1. Any parking designated for trucks, recreational vehicles and other large vehicles shall be placed in a defined location.

C. Roof Forms

1. The design of the building's roof forms and their structural supports shall be architecturally compatible with the image and character of the development.

D. Building Lighting

1. The design of the building's exterior light fixtures and their structural supports shall be architecturally compatible to the character of the development.

E. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.
2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the MAIN BUILDING, or a combination.

Exhibit B - Development Standards

6. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
7. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

F. Canopies & Awnings

1. Canopies, awnings, arcades, and overhangs are encouraged over windows and entries along public sidewalks on the ground floor.
2. Canopies, awnings, and arcades should be designed with respect for the character and proportion of the building in terms of size, shape, and placement.
3. Use of a continuous awning for the windows on the upper floors is discouraged.
4. Brightly colored awning is discouraged. Awnings should be compatible with the color and architectural style of the building.
5. Materials should be of the highest quality. Plastic or vinyl canopies should not be used.

G. Building Signage

1. Signage may be wall-mounted, projecting, combined with awnings, or placed on windows.
2. Attached signage should consist of individual letters.

H. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

H. COMMERCIAL

Prior to site and building permit requests, architectural building elevations must be approved with the DETAILED SITE PLAN to ensure continuity and consistency of development of the Property.

A. Facade Materials

Permitted primary building materials (which must cover not less than 75% of the area of the facade) shall be:

1. Masonry/stone
2. Stucco/plaster
3. Cementitious siding (Hardie-plank™ or equivalent)
4. Other primary building materials shall be required to obtain a special exception as a part of DETAILED SITE PLAN approval.
5. Other primary building materials not approved by the DIRECTOR shall be required to obtain a variance from the Planning and Zoning Commission as a part of DETAILED SITE PLAN approval.

B. Accent Elements

1. Accent building materials (which may cover no more than 25% of the area of the facade) may be:

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- Pre-cast masonry
- Gypsum reinforced fiber concrete
- Limestone
- Other masonry
- Metal
- Honed, colored or split-faced CMU block

C. Roof Forms

1. The design of the building's roof forms and their structural supports shall be architecturally compatible with the image and character of the development.

D. Building Lighting

1. The design of the building's exterior light fixtures and their structural supports shall be architecturally compatible to the character of the development.

E. Building Awnings and Canopies

1. Materials, illumination and location:
 - Awnings and canopies shall be architectural and constructed with fully OPAQUE materials that complement the building.
 - Awnings and canopies shall not be internally illuminated.

F. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.
2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the MAIN BUILDING, or a combination.
6. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
7. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

G. Building Signage

1. Signage may be wall-mounted, projecting, combined with awnings, or placed on windows.
2. Attached signage should consist of individual letters.

H. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

Exhibit B - Development Standards

I. COMMERCIAL - ARENA / ENTERTAINMENT

Prior to site and building permit requests, architectural building elevations must be approved with the DETAILED SITE PLAN to ensure continuity and consistency of development of the Property.

A. Facade Materials

Permitted primary building materials which will follow the design style of a North Texas ranch /livestock arena (which must cover not less than 95% of the area of facade) shall be:

1. Steel/Metal siding
2. Steel structural supports

B. Accent Elements

1. Accent building materials (near 5% of the area of the facade) may be:
 - Limestone
 - Other masonry
 - Hone, colored or split-faced CMU block

C. Roof Forms

1. The design of the building's roof forms and their structural supports shall be architecturally compatible with the image and character of the development.

D. Building Lighting

1. The design of the building's exterior light fixtures and their structural supports shall be architecturally compatible to the character of the development.

E. Service Areas & Utilities

1. Solid waste, storage, and equipment areas shall be screened from PUBLIC VIEW.
2. All installed equipment, electrical rooms, and service rooms shall be placed within the footprint of the structure.
3. Air conditioning units, chillers, emergency generators and related components can be located outside if screened from PUBLIC VIEW.
4. Air conditioning units may be located at grade and screened from PUBLIC VIEW and/or located on the roof of said structure.
5. All screening devices shall consist of LANDSCAPING, material compatible with the architectural character of the MAIN BUILDING, or a combination.
6. Location of solid waste facilities shall be approved at the time of DETAILED SITE PLAN approval.
7. Access to solid waste facilities shall be provided by a metal gate or door equal to the height of any screening wall.

F. Building Signage

1. Signage may be wall-mounted, projecting, combined with awnings, or placed on windows.

Exhibit B - Development Standards

2. Attached signage should consist of individual letters.
3. Signage will be large to be in scale with this building.

G. Underground Utilities

1. To the extent it is practical, all electrical, phone, cable and similar types shall be underground.

V. SITE ELEMENTS - *Lighting, parking, and signage standards*

The Site Elements section establishes the standards for public/private exterior space lighting, provision of adequate parking, and compatible signage.

A. LIGHTING

Illumination is key to the safety and enjoyment of exterior environments by citizens, patrons, and guests of Heritage Ranch.

A. Pedestrian Trail

Sidewalk lighting with standard poles, pedestrian height poles, bollards and/or wall mounted fixtures are allowed on PEDESTRIAN TRAILS.

B. Commercial Streets

Streets in the Commercial and Entertainment Regions are typically designed to create a pedestrian oriented shopping or commercial district that includes special themed lighting. Decorative or themed lighting to create a special pedestrian street environment in the Commercial and Entertainment Regions will be allowed. These themed lights should be mounted on pedestrian-scaled poles. Use of LANDSCAPING, signage, and seating may be used in conjunction with the themed lighting to create a pedestrian street environment.

C. Parking Lot

Standard poles and fixtures shall be of a single color, compatible with the architecture of the building.

D. Street Lighting

1. General

- All new developments should provide pedestrian scaled streetlights where feasible.
- All new ALLEYS should have lights mounted on outbuildings or garages. These lights should be connected to a separate circuit other than the MAIN BUILDING.
- Outdoor lighting should create and encourage a pedestrian friendly environment, which is especially beneficial to residential neighborhoods and neighborhood business districts. Pedestrian-scale lights should improve

Exhibit B - Development Standards

sidewalk illumination for pedestrian traffic and enhance community safety and business exposure.

- Street lighting should be designed to be appropriate to its neighborhood identity. Such things as height of lamp post, lamp head and lighting source and spacing can all be calibrated accordingly.
- Where existing light poles provide street lighting, new light fixtures may be mounted on existing poles to maximize resources and minimize installation time. A more expensive option is to install the new light fixtures on top of free- standing poles that receive power via underground conduit.

2. Size

- The height of lamp posts should be designed to be proportional to the width of the street. The general regulated height of streetlamps should be 12 to 15 feet for pedestrian- oriented neighborhoods. Typically, the 12-foot lampposts should be used for streets in residential neighborhoods and the 15-foot lampposts should be used on all other street types. This is not required for parking areas.
- For those STREET INTERSECTIONS that require more light, the 20-foot lamppost can be instituted for safety, but should be used only if necessary.

3. Location

- The minimum clearance from a streetlight pole to the face of curb should be 2 feet.
- The minimum clearance from a streetlight pole to the edge of a sidewalk should be 1 foot.
- The minimum clearance from a streetlight pole to the centerline of a tree should be 20 feet.
- A consistent on-center distance for lampposts should be established appropriate to the location. Typically, this dimension is 90 feet on center.
- On residential side streets, light posts should be placed within the parkway (tree planting strip) where one exists or within 2 feet from the curb when such a location does not reduce the sidewalk dimension to less than 5 feet.
- In existing residential neighborhoods, when street lighting will be added and neither of the above conditions can be met, lamp posts should be placed within one foot of the sidewalk in the front yard (front setback), provided a utility EASEMENT is already in place in that location.
- Lighting poles may be alternating sequence from one side of the street to the other, to ensure continuous light pockets.

4. Character

- All lamp posts should have a base, a middle and a top.
- Where applicable, the style of the street fixtures should be consistent.
- High-pressure sodium lights are prohibited. LED lights are encouraged.
- Cobra-heads shall not be used on streets in residential neighborhoods or pedestrian-oriented commercial streets. Cobra-heads should only be used on high-volume traffic streets.

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- Shoebox style lighting should not be used, except in large parking areas, or on the rear of buildings.
- Column streetlights should be used on streets in residential neighborhoods .
- Multi-head column streetlights may be used on all other street types.

B. PARKING

Surface parking required for uses within the Residential, Commercial, and Entertainment Regions.

Parking lots with two hundred (200) spaces or more shall be divided into separate areas divided by LANDSCAPED areas or sidewalks measuring a minimum of ten (10) feet in width or by a building or group of buildings.

1. Pedestrian sidewalks shall be directly linked to entrances and the internal circulation of the building.
2. Connections shall be made when feasible to any streets adjacent to the property and to any pedestrian facilities that connect to the property unless pedestrian and/or traffic hazards prohibit such connections.
3. Adjacent nonresidential sites shall provide cross vehicular access between nonresidential lots.

Minimum Parking Requirements

Minimum parking requirements for each land use is noted below.

A. Residential

The minimum number of car parking spaces shall be provided in accordance with the following ratios:

1. Single-family dwelling units: two (2) spaces per unit on a paved driveway all concrete or similar paved surface such as turf pavers, brick pavers, or asphalt.
2. Two-family dwelling units: four (4) spaces per dwelling (two spaces per unit).
3. Efficiency units (zero bedrooms): one (1) space per unit.
4. One-bedroom units (apartments): one and one half (1.5) spaces per unit. Tuck-under and/or tandem parking shall count towards the minimum parking requirements.
5. Two-bedroom units (apartments): two (2) spaces per unit. Tuck-under and/or tandem parking shall count towards the minimum parking requirements.
6. Three-bedroom units (apartments): two and one half (2.5) spaces per unit. Tuck-under and/or tandem parking shall count towards the minimum parking requirements.

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7. Four-bedroom units (apartments): three (3) spaces per unit. Tuck-under and/or tandem parking shall count towards the minimum parking requirements.

B. Retail

One (1) space per 250 SF of gross floor area.

C. General Commercial

One (1) space per 250 SF of gross floor area.

D. Arena

One (1) space per four (4) seats

E. Restaurant

One (1) space per 150 SF of gross floor area.

F. Office

One (1) space per 300 SF of gross floor area.

G. Hotel (Limited and Full Service)

Parking shall be provided in accordance with the following standards:

1. One (1) space per guest room,
2. Plus one (1) space per each five (5) RESTAURANT or lounge area seats,
3. Plus one (1) space for each one hundred twenty-five (125) square feet of meeting/conference room area.

H. On-Street Parking

The Heritage Ranch PD will allow on-street parking per CODE on the street types as defined within this document . The street types that will include this parking are the Urban Street and Collector.

I. Requirements

1. On-street parking within 200 feet of a LOT shall be counted toward the total required parking for that LOT.
2. Upon submittal of an acceptable comprehensive parking plan for a region, or for substantial portions of a region, the DIRECTOR may recommend alternative parking requirements contained in the submitted plan to the Planning and Zoning Commission for adoption and approval

Exhibit B - Development Standards

provided that such alternatives are consistent with this PD and the overall Development

3. A parking plan is required at the time of DETAILED SITE PLAN submittal.

C. WAYFINDING AND SIGNAGE

Unless specifically provided for below or addressed in other sections of this PD, the Development shall conform to the Sign Requirements set forth in the CODE. Required signage within the public right of way shall meet the minimum requirements of the Texas Manual on Uniform Traffic Control Devices.

- A. A sign plan for a region is required at the time of DETAILED SITE PLAN submittal.
- B. A wayfinding system providing directional and informational signs that are attractive, clear and consistent in theme, location, and design shall be allowed throughout the Development.
- C. Signs for a retail, office or similarly permitted use may be hung from the front of the building and may extend perpendicularly up to 30 inches into the pedestrian sidewalk provided that the bottom of such sign shall be at least 8 feet above the pedestrian sidewalk.
- D. Wayfinding and Signage within the Development shall conform generally to the design pallet, theme, and architectural elements of the Development.
- E. Upon submittal of an acceptable sign plan for a region, or for a substantial portion of a region, the DIRECTOR may recommend alternative wayfinding and signage requirements contained in the submitted plan to the Planning and Zoning Commission for adoption and approval, provided that such alternatives are recommend by the developer and consistent with this PD and the overall Development.
- F. Portable or wheeled signs located outside any building shall be prohibited.

VI. LANDSCAPE STANDARDS

LANDSCAPING standards are used to promote a flexible framework of planting and green areas that enhance and safeguard property values while aiding in erosion control, noise abatement, glare and reflection control, buffering between land uses.

A. LANDSCAPE

A. Landscape Definition

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LANDSCAPING shall be defined, for the purposes of these requirements, as plant material including, but not limited to, grass, trees, shrubs, flowers, vines and other ground cover.

B. Site Definition

Site shall be defined, for the purposes of these guidelines, as any plot, TRACT or PARCEL of land or combination of contiguous lots, TRACTS or PARCELS of land.

C. Compliance

LANDSCAPING shall conform to the following:

1. LANDSCAPING shall be required on all developments and shall be completed prior to the issuance of the certificate of occupancy.
2. Due to certain circumstances, conditions, or hardships, the DIRECTOR may authorize a reasonable delay for planting of new landscape materials, in which case, a certificate of occupancy may be issued.
3. If such a delay is authorized by the DIRECTOR, all LANDSCAPING shall be planted not later than the date provided in the authorization from the DIRECTOR.
4. All LANDSCAPING shall be installed so as to avoid hazards.
5. Upon submittal of an acceptable LANDSCAPING and/or screening plan for a region, or for substantial portions of a region, the DIRECTOR may recommend alternative LANDSCAPING and screening requirements contained in the submitted plan to the Planning and Zoning Commission for adoption and approval, provided that such alternatives are recommended by the developer and consistent with this PD and the overall Development.
6. A LANDSCAPING plan is required at the time of DETAILED SITE PLAN approval.
7. Tree and LANDSCAPING:
 - The CITY finds that the planting of trees aids in the stabilization of soil by preventing erosion and sedimentation, generates oxygen, and provides a buffer.
 - This document shall apply to all new residential and commercial construction.
 - Any lot having a building setback of greater than ten (10) feet shall have at least one (1) front yard tree of at least three (3) caliper inches in diameter.

B. SCREENING

- LANDSCAPING shall be a permitted screening mechanism.

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- If LANDSCAPING is used as a screening mechanism, screening height shall be a minimum of three (3) feet at full maturity of landscape unless otherwise noted in this Section.
- All LANDSCAPING shall be installed so as to avoid hazards.
- Shrubs of sufficient height when used alone, or in conjunction with other materials, shall meet the minimum height requirements of this Section.
- Masonry walls shall be a permitted screening mechanism.
- Wood OPAQUE fencing and walls shall be permitted as a screening mechanism and must be maintained in good condition without fallen and/or rotten wood.
- Metal OPAQUE fencing shall be permitted as a screening mechanism as ornamental metal, tubular steel or similar material with a consistent design and finished in black.
- Privacy fences in the Residential Region shall consist of wood, ornamental metal with a consistent design and finished in black, or masonry fence materials.
- Where residential uses are incorporated into commercial uses and in multi-family areas, screening walls or mechanisms shall not be required.
- Fence and wall materials and locations will be approved as part of the DETAILED SITE PLAN approval.
- Fences and walls consisting of materials or placed in locations not addressed in this Section, may be approved as part of the DETAILED SITE PLAN approval.
- Site features noted below hereinafter shall be screened in accordance with above requirements.

A. Rear Yards and Service Side

Rear yard, or servicing side of a nonresidential use immediately adjacent to a PUBLIC STREET shall be screened. If LANDSCAPING is used as a screening mechanism, the average height of the LANDSCAPING shall be a minimum of six (6) feet at full maturity.

B. Loading Docks

Loading docks shall be screened from PUBLIC VIEW where a nonresidential use is immediately adjacent to a PUBLIC STREET. If LANDSCAPING is used as a screening mechanism, the average height of the LANDSCAPING shall be a minimum of six (6) feet at full maturity.

C. Solid Waste

All solid waste areas shall be screened from PUBLIC VIEW. If LANDSCAPING is used as a screening mechanism, the average height of the LANDSCAPING shall be a minimum of six (6) feet at full maturity.

D. Ground-mounted Equipment

When practical, large ground-mounted equipment including, but not limited to, pad-mounted transformers, telephone switch boxes and gas meters, shall be

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reasonably screened or located away from the view of PUBLIC STREET. If LANDSCAPING is used as a screening mechanism, the average height of the LANDSCAPING shall be a minimum of three (3) feet at full maturity

C. PARKING LOTS AND STREETS

- Screening of nonresidential OFF-STREET PARKING lots over twenty-five (25) spaces shall be landscaped.
- All areas that are used for parking shall conform to the minimum LANDSCAPING requirements within the CITY for such use.
- LANDSCAPING shall consist of a combination of such plant materials as follows: ground cover, shrubs, vines, hedges, trees, or other such materials.
- Required street trees will be planted within the streetscape areas identified on the typical street sections found in Section II, B of this PD, with the exception of the typical street section for the Collector the Urban Street. Trees for these street sections may be located outside the Pedestrian Realm and be included in the front yard setback area.
- Required street trees may be clustered if approved by the DIRECTOR in order to facilitate, among other things, creative design, visibility, or safety.
- For the Minor Arterial and Collector street sections set forth in this PD, street trees will be provided at a minimum of one tree for every 100 linear feet.
- Tree wells are permitted and may be covered with grates, living plant materials or some permeable non-living material.
- Street trees to be at least three (3) caliper inches in diameter.

D. FENCES AND WALLS

- Residential Region: no fence, hedge or enclosure wall shall exceed a height of eight (8) feet.
- Commercial and Entertainment Region: fences may be erected to a height of ten (10) feet if used for security purposes.

VII. PARKS, TRAILS AND OPEN SPACE STANDARDS

The Open Space Framework plan is attached as Exhibit “B” and shall serve as the guiding document for the general locations and types of OPEN SPACES and trails that shall be provided in the Heritage Ranch PD. The exact location of each OPEN SPACE and trail shall be determined at the time of DETAILED SITE PLAN.

A. PARK

Final designs consistent with these typical park designs shall be produced as final alignment and engineering are performed for each DETAILED SITE PLAN submittal.

B. LAKES AND OPEN SPACE

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Final designs consistent with these lake and OPEN SPACE typical designs shall be produced as final alignment and engineering are performed for each DETAILED SITE PLAN submittal.

C. PEDESTRIAN TRAILS

Connected pedestrian access shall be provided throughout much of the development and shall include internal neighborhood trails constructed in phases concurrent with the construction of such neighborhoods that ultimately connect to the master trail system identified during the DETAILED SITE PLAN.

Final designs consistent with these typical PEDESTRIAN TRAIL designs shall be produced as final alignment and engineering are performed for each DETAILED SITE PLAN submittal. Materials for trail construction are permitted to be concrete, decomposed granite, or other durable and applicable material suitable for trails as submitted by developer and approved by the DIRECTOR.

VIII. DEFINITIONS

For purposes of this PD Document, certain words and terms are to be used and interpreted as defined hereinafter unless the context of such use clearly indicates otherwise. Where a word or phrases is printed in CAPITAL LETTERS, it is being used as a defined herein. Words used in the present tense shall also include the future tense; words used in the masculine gender shall also include the feminine gender; words used in the singular number shall also include the plural number; and words in the plural number shall also include the singular number, except where the natural construction of the writing indicates otherwise. Words and phrases not defined within these Definitions, but which are defined in the Code shall have the meaning provided such words and phrases in the Code.

The word "shall" is mandatory and not directory. For any term or use not defined herein, Webster's Dictionary (latest edition) shall be used.

Accessory dwelling. A separate living unit, DETACHED from the primary structure, complete with kitchen, bathroom and sleeping facilities.

Accessory structure. A structure located on the same premise that is customarily incidental, DETACHED and subordinate to the primary structure or use.

Agriculture. The use of any TRACT of land for the production of animal or vegetable life; uses include, but are not limited to, the pasturing, grazing, and watering of livestock and the cropping, cultivation, and harvesting of plants.

Alley. A minor right-of-way that is dedicated to public use and which affords a secondary means of vehicular access to the back or side of properties otherwise abutting a street, and which may be used for public utility purposes.

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Amusement services. A commercial facility that includes, but is not limited to, bowling alleys, movie theatres, music halls, indoor skating rinks, video arcades, pool and billiard halls, shuffleboard courts, baseball hitting ranges, miniature golf, golf driving ranges and shooting arcades.

Arena. A large civic building or group of buildings designed for concerts, community events, sporting events, livestock events, conventions, industrial shows, and like kind events.

Assisted living facility. An establishment that furnishes, in one or more facilities, food and shelter to four or more persons who are unrelated to the proprietor of the establishment and provides personal care services pursuant to the applicable regulations contained in the Texas Health and Safety Code.

Bed and breakfast. A DWELLING arranged or used for lodging for compensation, with or without meals.

Building. Any structure used or intended for supporting or sheltering any use or occupancy.

Building height. The vertical distance measured from the ground immediately adjacent to the foundation to the eave line of the building

Building line. The line established by law, beyond which a building shall not extend, except as specifically provided by law. Such lines to include front, rear, and side yard setbacks.

Building, main. A building in which the principal use of the lot on which it is situated is conducted. In a residential district any dwelling shall be deemed to be a main building on the lot on which it is situated.

Car wash. A place or business equipped for washing cars and other motor vehicles.

Childcare facility. A facility licensed, certified, or registered by the department to provide assessment, care, training, education, custody, treatment, or supervision for a child who is not related by blood, marriage, or adoption to the owner or operator of the facility, for all or part of the 24-hour day, whether or not the facility is operated for profit or charges for the services it offers.

Church/place of worship. An institution that people regularly attend to participate in or hold religious services, meetings, or other activities. This term does not carry a secular connotation and includes the buildings or other locations in which the religious services of any denomination are held.

City. The City of Sherman, Texas.

City council. The governing body of the City.

City manager. The city manager of the City or his/her designee.

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Civic center. A building or group of buildings containing administrative offices for the operations of local government that is:

- (a) owned and operated by the CITY or Grayson County and
- (b) used predominantly for office and meeting space for local government and/or community activities.

Code. The City of Sherman Code of Ordinances.

Community garden. A community garden is a single piece of land gardenized collectively by a group of people. Community gardens utilize either individual or shared plots on private or public land while producing fruit, vegetables, and/or plants grown for their attractive appearance.

Community service. A facility that is designed for the benefit of the public or its institutions including but not limited to community centers, libraries, post offices, agencies, etc.

Continuing care retirement community. A housing development designed to provide a full range of accommodations for older adults (55 years of age or older), including independent living, assisted living and skilled full-time nursing or medical care, that may consist of single family DETACHED and attached, duplex, triplex, quadraplex and/or multi-story structures.

Convalescent and nursing homes. An establishment that furnishes, in one or more facilities, food and shelter to four or more persons who are unrelated to the proprietor of the establishment and provides minor treatment under the direction and supervision of a physician licensed by the Texas State Board of Medical Examiners, or other services that meet some need beyond the basic provision of food, shelter, and laundry pursuant to the applicable regulations contained in the Texas Health and Safety Code.

Detailed Site Plan. Site plan approved by the CITY.

Density. The total number of residential buildings allowed upon a given TRACT of land usually expressed in total number of units per gross acres or net acre.

Detached. Having no physical connection above the top of the floor line of the first floor with any other building or structure.

Director. The Director of Development Services for the CITY or his/her designee or the CITY MANAGER if such position is vacant, no longer exists, or is terminated by the CITY.

Dwelling. Any building or portion thereof, which is designed or used exclusively for residential purposes.

Dwelling, multi-family. A building or portion of a building having suitable accommodations for two or more families, living independently of each other, who may or may not have joint uses of utilities, halls, yards, etc. This term includes PREMISES occupied more or less permanently for residential purposes in which rooms are occupied in apartments, suites or groups, such as duplexes, apartments, dormitories, lodging houses, rooming houses, and all the dwellings similarly occupied.

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Dwelling, one-family. A DETACHED building used exclusively for residential purposes having suitable accommodations for only one family. Also known as single-family.

Easement. A grant of one or more of the property rights by the property owner to and/or for the use by the public, a corporation or another person or entity.

Educational facility. Public and private primary, secondary and post-secondary educational facilities offering instruction in the branches of learning and study required to be taught by the Texas Education Agency; and such federally funded educational programs for preschool children as the Head Start Program.

Entertainment. Includes shows, plays, skits, musical revues, children's theater, dance productions, public dance, musical concerts, opera and the production or provision of sights or sounds or visual or auditory sensations which are designed to or may divert, entertain or otherwise appeal to members of the public who are admitted to a place of entertainment, which is produced by any means, including radio, television, video reproduction, piano, orchestra or band or any other musical instrument, slide or movie projector, spotlights, or interruptible or flashing light devices and decoration.

Exhibition hall. A large civic building or group of buildings designed for conventions, industrial shows, and the like, having large unobstructed exhibit areas and often including conference rooms, HOTEL accommodations, RESTAURANTS, and other facilities.

Family. One or more persons related by blood, marriage, or adoption; or a group not to exceed four persons not all related by blood or marriage, adoption or guardianship, occupying a DWELLING unit.

Family home. A home that provides regular care in the caretaker's own residence for not more than six children under 14 years of age, excluding children who are related to the caretaker, and that provides care after school hours for not more than six additional elementary school children, but the total number of children, including children who are related to the caretaker, does not exceed 12 at any given time. The term does not include a home that provides care exclusively for any number of children who are related to the caretaker pursuant to the applicable regulations contained in the Texas Human Resources Code.

Fraternal organization, lodge, civic club, or union. An organized group having a restricted membership and specific purpose related to the welfare of the members such as Elks, Masons, Knights of Columbus, or a labor union.

Fuel Sales. An establishment engaged in the selling of retail fuel or gasoline and incidental goods and merchandise to the general public for personal or household consumption.

Greenway. A corridor of undeveloped land preserved for recreational use or environmental protection.

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Hospital. An establishment that offers services, facilities, and beds for use for more than 24 hours for two or more unrelated individuals requiring diagnosis, treatment, or care for illness, injury, deformity, abnormality, or pregnancy and that regularly maintains, at a minimum, clinical laboratory services, diagnostic X-ray services, treatment facilities including surgery or obstetrical care or both, and other definitive medical or surgical treatment of similar extent pursuant to applicable regulations of the Texas Health and Safety Code.

Hotel. A building containing guest rooms, rented for less than 30 days and designed to be used for sleeping purposes, which provides a common entrance, lobby, halls and stairways. Includes full-service and limited-service hotels.

Independent Senior Living facility. A residence facility (multi-family, attached and/or DETACHED dwellings) that is designed for residents 55 years and older who do not require nursing care.

Kiosk. A small stand-alone structure, with one or more open sides, that is used to vend merchandise or services, or for providing information, either by posting, or on a computer screen.

Landscaping. Grass, trees, shrubs, vines, ground cover or flowers planted and maintained to enhance appearance of a development. Landscaping may include non-botanical features, such as walks, fountains, reflecting pools, art works, rain gardens and storm water management features as approved by the DIRECTOR.

Livestock Showing. A livestock show is an event where livestock are exhibited and judged on certain phenotypical breed traits as specified by their respective breed standard. Many times tickets are sold to view the event.

Livestock Stables. A stable is a BUILDING in which livestock, especially horses and cattle, are kept. It most commonly means a building and/or area that is divided into separate stalls for individual animals.

Lot. A platted (as specified in the Texas Local Government Code) PARCEL of land that is occupied or intended to be occupied by one main building (or a group of main buildings) and any accessory building(s), which includes such parking, LANDSCAPING and OPEN SPACE as are required by this ordinance or other laws and/or ordinances, and also which has its principal LOT FRONTAGE upon a PUBLIC STREET.

Lot area. The total area, measured on a horizontal plane, included within LOT LINES.

Lot, corner. A lot which has at least two adjacent sides abutting for their full lengths upon a street, provided that the interior angle at the intersection of such two sides is less than 135 degrees.

Lot depth. The mean horizontal distance between the front and rear LOT LINES.

Lot, interior. A lot other than a CORNER LOT.

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Lot frontage. That dimension of a lot or portion of a lot abutting onto a PUBLIC STREET, excluding the side dimension of a CORNER LOT.

Lot lines or property lines. The lines bounding a lot as defined herein.

Lot width. The horizontal distance measured between side LOT LINES parallel to the front LOT LINE, and measured from the point on the BUILDING LINE that is closest to the front LOT LINE.

Manufacturing Business. A commercial enterprise covering a small area of land, which provides work performed by automation, individually, or as a team. Typically provides tangible products. Products can be produced, stored, or distributed from such business or enterprise. Such commercial enterprise does not include heavy manufacturing.

Market (public). Markets located on public property, where independent merchants can sell their products to the public. Typical products sold at public markets include fresh produce, various other food items and crafted goods.

Medical office/service. Including but not limited to ambulatory surgery center, urgent care center, hospice, hospice services and home health service.

Microbrewery. A combination retail, wholesale and manufacturing business that brews and serves beer and/or food.

Offices. A room or group of rooms used for the provision of executive, management and/or administrative services. Typical uses include administrative offices and services including real estate, insurance, property management, investment, personnel, travel, secretarial services, telephone answering, and business offices of public utilities, organizations and associations, but excluding MEDICAL OFFICES.

Off-street parking. Off-street parking spaces provided in accordance with the requirements of this ordinance, located on the LOT or TRACT occupied by the main use or within 200 feet of such LOT or TRACT, and located within the same zoning region as the main use or in an adjacent parking district.

Opaque. Not able to be seen through and/or not transparent.

Open space. In land-use planning, urban green space is open-space areas reserved for parks and other "green spaces", including plant life, water features and other kinds of natural environment. Most urban open spaces are green spaces, but occasionally include other kinds of open areas.

Outdoor recreation. An area designed for active outdoor recreation, whether publicly or privately owned, including, but not limited to, baseball diamonds, soccer and football fields, campgrounds, golf courses, tennis courts and swimming pools.

Parcel. Any unplatted TRACT of land, or any portion of an unplatted TRACT of land (also see TRACT).

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Park/playground. An area of land set aside for public or private use, as a piece of land with few or no buildings within or adjoining a town, maintained for recreational and ornamental purposes.

Pedestrian trails. A trail is usually a path, track or unpaved lane or road. The term is also applied, in North America, to routes along rivers, and sometimes to highways.

Premises. Land together with any buildings or structures situated thereon.

Private club. An establishment providing social and/or dining facilities which may provide alcoholic beverage service, to an association of persons, and otherwise falling within the definition of, and permitted under the provisions of the applicable regulations in the Texas Alcoholic Beverage Code, that pertains to the operation of private clubs.

Professional service. Work performed which is commonly identified as a profession, and which may be licensed by the State of Texas.

Public garage/parking structure. A surface lot, parking structure or other facility owned, operated or maintained by the city, to provide parking to the general public.

Public park, State park, Municipal Park. *Public park:* a park in public space; *state park:* a park owned by a U.S. state; *municipal park:* a park owned by the city.

Public plaza. A public square in a city or town often featuring sidewalk, trees and shrubs, places to sit, and sometimes shops.

Public streets. A public street is any road open for public travel, under the jurisdiction of a public authority and maintained by a public authority.

Public view. Any area, equipment, or structure which can be viewed by the public from any PUBLIC STREET, PUBLIC PLAZA, or PUBLIC PARK.

Reservation. A TRACT of public land set aside.

Restaurant. An eating establishment where customers are primarily served at tables or are self-served, where food is consumed on the PREMISES, which may include a drive-through window(s) or where facilities are provided on the PREMISES which encourage the serving and consumption of food in automobiles on or near the restaurant PREMISES.

Retail. An establishment engaged in the selling of goods and merchandise to the general public for personal or household consumption and rendering services incidental to the sale of such goods.

School (K through 12). An institution for the instruction of children or people under college age.

School, other. Any institution for the instruction of people not considered a "school (K through 12)."

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Schoolyards. The area next to or surrounding a school where students typically play games or sports.

Seasonal uses. Seasonal uses include the sales of items such as Christmas trees, pumpkins, snow cones, fresh produce, and other items which are typically only available at certain times of the year.

Service Business. A commercial enterprise, which provides work performed in an expert manner by an individual or team, for the benefit of its customers. Typical services businesses provide intangible products, such as accounting, banking, consulting, cleaning, landscaping, education, insurance, treatment, and transportation services, where no exterior storage of equipment or stock are stored.

Story/Stories. That portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above.

Street. Any dedicated public thoroughfare that affords the principal means of access to abutting property. A Street is termed a major thoroughfare or arterial when the right-of-way is greater than 60 feet.

Street intersection. Any street that joins another street at an angle, whether or not it crosses the other.

Telemarketing agency. An establishment that solicits business or the purchase of goods and/or services by telephone only. No sales of goods or services to the public occurs at or on the PREMISES. No products are stored at or on the PREMISES.

Townhouse. A one-family dwelling unit that may be constructed in a group of attached units separated by PROPERTY LINES in which each unit extends from foundation to roof and with open space on at least two sides.

Tract. A single PARCEL or lot.

Use. The purpose for which land or buildings are or may be occupied in a zoning district.

Utilities (public). Any facility or structure which provides services to the general public including but not limited to electric, gas, telephone, water, and television cable systems either publicly or privately owned.

Veterinarian clinic. An establishment where animals are admitted for examination and medical treatment.

Yard. An open space at grade between a building and the adjoining LOT LINES, unoccupied and unobstructed by any portion of a structure from the ground upward, except where otherwise specifically provided in this ordinance that the building or structure may be located in a portion of a yard required for a main building. In measuring a yard for the purpose of determining the width

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of the side yard, the depth of a front yard or the depth of a rear yard, the shortest horizontal distance between the LOT LINE and the main building shall be used.

Yard, front. A yard located in front of the front elevation of a building and extending across a lot between the side yard lines and being the minimum horizontal distance between the front PROPERTY LINE and the outside wall of the main building. Also known as front yard.

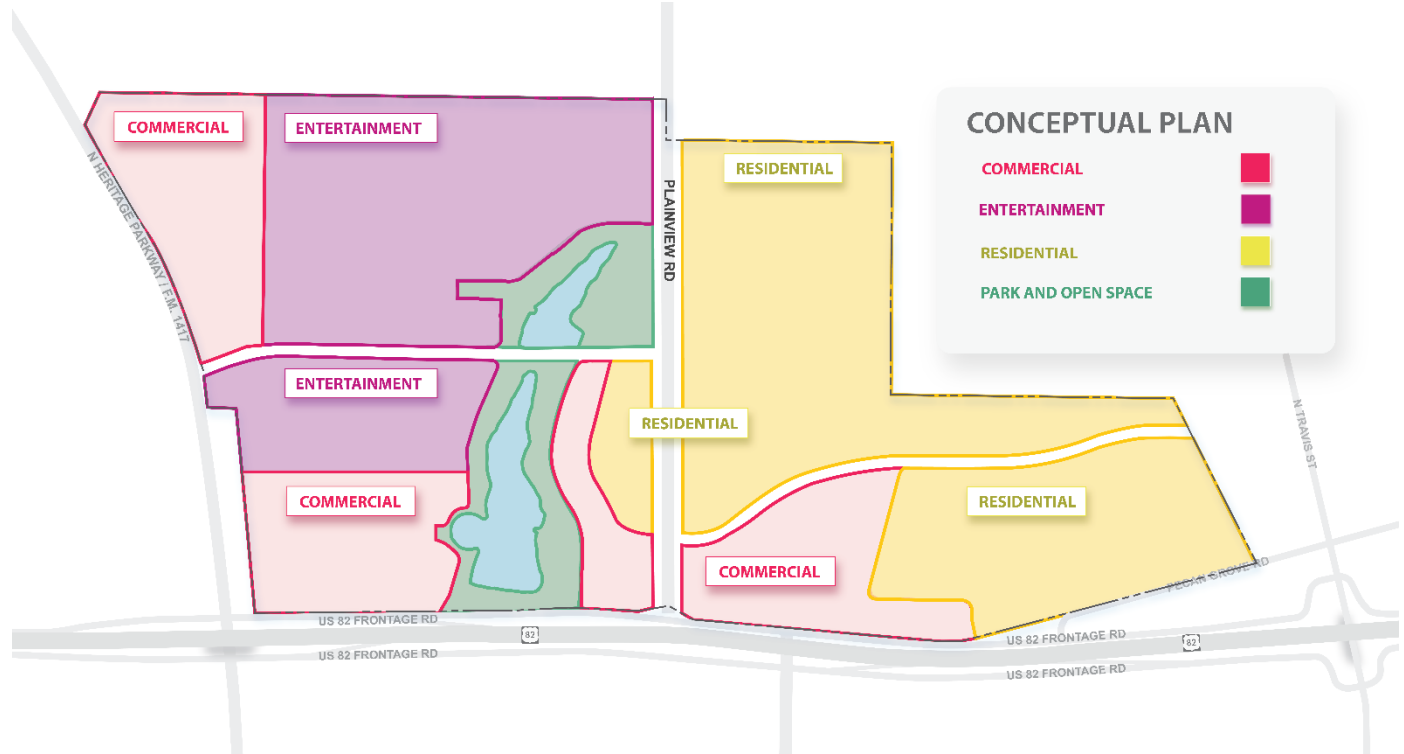
Yard, rear. The area extending across the rear of a lot measured between the LOT LINES and being the minimum horizontal distance between the rear LOT LINE and the rear of the outside wall of the main building. On both CORNER LOTS and INTERIOR LOTS, the rear yard shall in all cases be at the opposite end of the lot from the front yard. Also known as rear yard.

Yard, side. The area between the building and sideline of the lot and extending from the front LOT LINE to the rear LOT LINE and being the minimum horizontal distance between a side LOT LINE and the outside wall of the side of the main building. Also known as side yard.

Zoning Ordinance. A City of Sherman document which defines the regulations for land development of real property and also the procedures for application and potentially approval.

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EXHIBIT “A” – CONCEPTUAL PLAN



Region	Commercial	Entertainment	Residential	Park and Open Space	Major Right of Way (ROW)	Total Acreage (ac)
Acreage (ac)	+/- 105	+/- 112	+/- 138	+/- 60	+/- 24	439

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EXHIBIT “B” – OPEN SPACE FRAMEWORK PLAN



EXHIBIT “C” – TRANSPORTATION MASTER PLAN

