

1 INTRODUCTION

1.1 DEVELOPMENT PLAN OVERVIEW

Aspen Park Planned Development (PD) is a 216.2 acre multi-use development located in Sherman, Texas. A minimum of 40 acres (18.5%) of the development shall be set aside as usable open space. The design, development and use of the Property shall comply with the City of Sherman's Zoning Ordinance, as it exists or may be amended and any successor ordinance thereto (the "Zoning Ordinance"), the standards set forth in this Exhibit B and the Zoning Exhibits, attached hereto as Exhibit C.

1.2 REGULATIONS

Unless expressly stated or identified within this Ordinance, the regulations, requirements, standards and other provisions of the Zoning Ordinance shall apply to the development and use of the Property. If there is a conflict between the provisions of this Ordinance and those of the Zoning Ordinance, this Ordinance controls. The Property may be developed in phases.

2 SITE AND BUILDING STANDARDS

2.1 DISTRICTS ESTABLISHED

The land is divided into the following four complementary districts. Each district is intended to allow for the development of unique and complimentary uses to the other districts, and especially those districts adjacent to one another. The PD districts are depicted in the Zoning Exhibit and are listed as follows:

District	Acres
SF-U District: Single Family Urban District	49 minimum
SF-UA District: Single Family Urban Attached District	37.5
VMU District: Vertical Mixed-Use Residential District	91.1
C-1 District: C-1 (Retail Business)	11.4

2.2 DISTRICT STANDARDS

2.2.1 SF-U, SINGLE FAMILY URBAN DISTRICT

2.2.1.1 Purpose

The Single-Family Urban (SF-U) District is intended to provide for small-lot, urban, single-family development in a pedestrian-oriented environment. The district standards shall conform to the requirements for base zoning district R-4, as they exist or may be amended, except as otherwise provided by this Ordinance.

2.2.1.2 Permitted Uses

Those uses indicated as being permitted in the “R-4 (Patio Home Residential) District” in Subsection 14.10 (Use Chart), as it exists or may be amended.

2.2.1.3 Area, Yard, and Bulk Requirements

The following area, yard, and bulk requirements apply to all development in the SF-U District:

Chart 1: Building Requirements, Single Family Urban District

1. Minimum Requirements for Lot Area, Width and Setback		Lot area: 4,000 sq ft
		Lot width: 40'
		Lot depth: 90'
		Front setback (front-loaded garage): 20' (garage); 10' (building)
		Front setback (rear-loaded garage): 10'
		Rear setback (front-loaded garage): 10'
		Rear setback (rear-loaded garage): 20'
		Side setback (of corner lot): 5' or 0'/10' (15')
2. Other Regulations	(a) Floor Area	Total floor area shall not be less than 1,000 square feet.
	(b) Landscaping Requirements	1. Refer to Subsection 14.04.006 City of Sherman Zoning Ordinance for landscaping requirements. 2. Lots have setbacks of ten (10) or less no front yard trees shall be required. 3. Lots having building setbacks of greater than (10) feet one (1) front yard tree shall be required.

2.2.2 SF-UA, SINGLE FAMILY URBAN ATTACHED DISTRICT**2.2.2.1 Purpose**

The Single-Family Urban Attached (SF-UA) District is intended to provide for a variety of residential housing types and densities on individually platted lots or multiple units on a single lot. The district standards shall conform to the requirements of the base zoning district R-TH (Townhome Residential), as it exists or may be amended, except as otherwise provided by this Ordinance.

2.2.2.2 Permitted Uses

Those uses indicated as being permitted in the “R-TH (Townhome Residential) District” in Subsection 14.10 (Use Chart), as it exists or may be amended.

2.2.2.3 Area, Yard, and Bulk Requirements

SF-UA zoned portions of the property shall be developed in accordance with the standards in the SF-U District or in accordance with the following SF-UA standards:

Chart 2: Building Requirements, Single Family Urban Attached District

1. Minimum Requirements for Lot Area, Width and Setback		Lot area: 1200 sq. ft.
		Lot width: 20'
		Lot depth: 60'
		Front setback (front-loaded garage) 1. Lots width of 25' or more: 20' 2. Lots less than 25' wide shall not have front loaded garages.
		Front setback (rear-loaded garage): 10'
		Rear setback (front-loaded garage): 15'
		Rear setback (rear-loaded garage): 20'
		Street side setback: 15'
		Interior side setback: 0'
2. Other Regulations	(a) Maximum Building Length	The maximum allowable building length shall not exceed 20 homes in a row.
	(b) Landscaping Requirements	1. Refer to Subsection 14.04.006 City of Sherman Zoning Ordinance for landscaping requirements; 2. Lots have setbacks of ten (10) or less no front yard trees shall be required. 3. Lots having building setbacks of greater than (10) feet one (1) front yard tree shall be required.

2.2.3 VMU, VERTICAL MIXED-USE DISTRICT**2.2.3.1 Definition; Purpose**

A Vertical Mixed-Use (VMU) District allows for vertical mixed-use buildings in which the ground floor of residential buildings shall be built to combine commercial-ready standards for retail, office and/or residential uses. The floors above the ground floor are occupied residential or office units. The VMU district standards shall conform to the requirements of the base zoning district C-1 (Retail Business), as it exists or may be amended, except as otherwise provided by this PD and further restricted or excepted herein.

2.2.3.2 Permitted Uses

1. The permitted uses of the ground floor portion of each building shall be those uses indicated as being permitted in the "C-1 (Retail Business) District" in Subsection 14.10 (Use Chart), as it exists or may be amended. Retail uses, excluding offices, shall be limited to the ground floor and a maximum of 15% of the building. Offices shall be limited to the bottom 3 floors of a building.

2. The following uses below are permitted within the Vertical Mixed-Use District in addition to the permitted uses "C-1 (Retail Business) District": Farmers market, indoor or outdoor, Food truck lot (with an SUP), Minor Convenience Store without Gas Pumps, Private Clubs (with an SUP), Tattoo studio (with an SUP), Dwelling, Multi-family.
3. Live/work units, defined as a residential unit consisting of both an office and a residential component that is occupied by the same resident, may count toward the mixed-use requirements.
4. Standalone commercial buildings are not allowed. A building must be either a single-use residential building or mixed-use building.

2.2.3.3 Area, Yard, and Bulk Requirements for Housing Types

The following area, yard, and bulk requirements apply to all residential developments in the VMU District:

Chart 3: Building Requirements for Vertical Mixed Use Building, Vertical Mixed Use District

1. Minimum Requirements for Lot Area, Width and Setback		Lot area: 8,000 sq ft
		Lot width: 80'
		Front setback: 12'
		Side setback: 0'
		Rear setback: 10'
	(a) Floor Area Minimum, Dwelling	Efficiency Unit: 430 sq ft per unit
		One-Bedroom Unit: 500 sq ft per unit
		Two or more bedroom unit: 750 sq ft per unit
	(b) Building Area	The maximum allowable building area, including main and accessory buildings, shall not exceed 80% of the gross area of the lot or tract of land.
	(c) Height Regulations	1. No building shall exceed 80'.
		2. An additional 10-foot front yard setback is required for that portion a structure over 60' in height.
	(d) Parking Regulations	Parking lots must be located behind front building facades or inside of the building itself.
	(e) Maximum Density	1. 65 dwelling units per net acre, single use
		2. 85 dwelling units per net acre, mixed-use
	(f) Minimum Building Separation	1. If project is a wrap, podium, or similar more urban style development with alternate access to parking, the setbacks and building separation may be on 0' on the "interior" lot lines of the project.

2.3 COMMERCIAL STANDARDS

2.3.1 C-1, (RETAIL BUSINESS) DISTRICT

2.3.1.1 Purpose

The C-1 (Retail Business) District standards shall conform to requirements for base zoning district C-1 (Retail Business), as it exists or may be amended, except as otherwise provided by this Ordinance.

2.3.1.2 Permitted Uses

Those uses indicated as being permitted in the “C-1 (Retail Business) District” in Subsection 14.10 (Use Chart), as it exists or may be amended.

The following uses also are permitted within the C-1 (Retail Business) District: Farmers Market, indoor or outdoor, Food Truck Lot (with an SUP), Convenience Store with Gas Pumps, Private Clubs (with an SUP), Tattoo Studio (with an SUP), and Vertical Mixed-Use.

2.3.1.3 Area, Yard, and Bulk Requirements

C-1 zoned property may be developed in accordance with the standards in the VMU District for mixed-use buildings or in accordance with the following standards:

Chart 4: Building Requirements for C-1 (Retail Business) District

1. Minimum Requirements for Lot Area, Width and Setback		Lot area: 8,000 sq ft
		Front setback: 1. 10' if no parking occurs between the building and R.O.W; 2. 25' if parking occurs between the building and R.O.W.
		Side setback: 0'
2. Other Regulations	(a) Building Area	The maximum allowable building area, including main and accessory buildings, shall not exceed 80% of the gross area of the lot or tract of land.
	(b) Parking Regulations	1. Parking lots must be located behind front building facades or inside of the building itself. 2. Refer to Section 4.5 Parking.

3 ARCHITECTURAL STANDARDS

The Architectural Standards section will govern all architectural elements and treatments related to the roofs, service areas and other elements and standards.

3.1 SF-U AND SFA-U DISTRICT DESIGN STANDARDS

1. Residential buildings shall front onto public streets and sidewalks.
2. No blank walls shall face public streets.
3. Overall, walls and roofs should include separations, changes in plane and height, and architectural elements to add visual details.
4. Facade
 - a. Exterior wall construction for residential structures shall consist of a minimum of 70% of the following building materials:
 - (a) Masonry
 - (b) 3-step stucco
 - (c) Glass
 - (d) Cementitious plank siding
 - (e) Wood siding
 - b. A maximum of 15% of any exposed exterior wall may consist of Exterior Insulation and Finish Systems (EIFS).
5. Residential Development Signage: each Residential development shall be allowed one monument sign with a maximum height of 12' and maximum effective area of 60 square feet at each entry into the Development. Related architectural features (such as clock towers, obelisks, etc.) may be 16'.
6. Residential Development Lighting: the design of the building's exterior light fixtures shall be architecturally compatible to the character of the development.

3.2 VMU AND C-1 DISTRICT DESIGN STANDARDS

This section includes descriptions and standards for the Vertical Mixed Use and the Commercial District.

3.2.1 CORE PRINCIPLES OF MIXED USE DEVELOPMENT

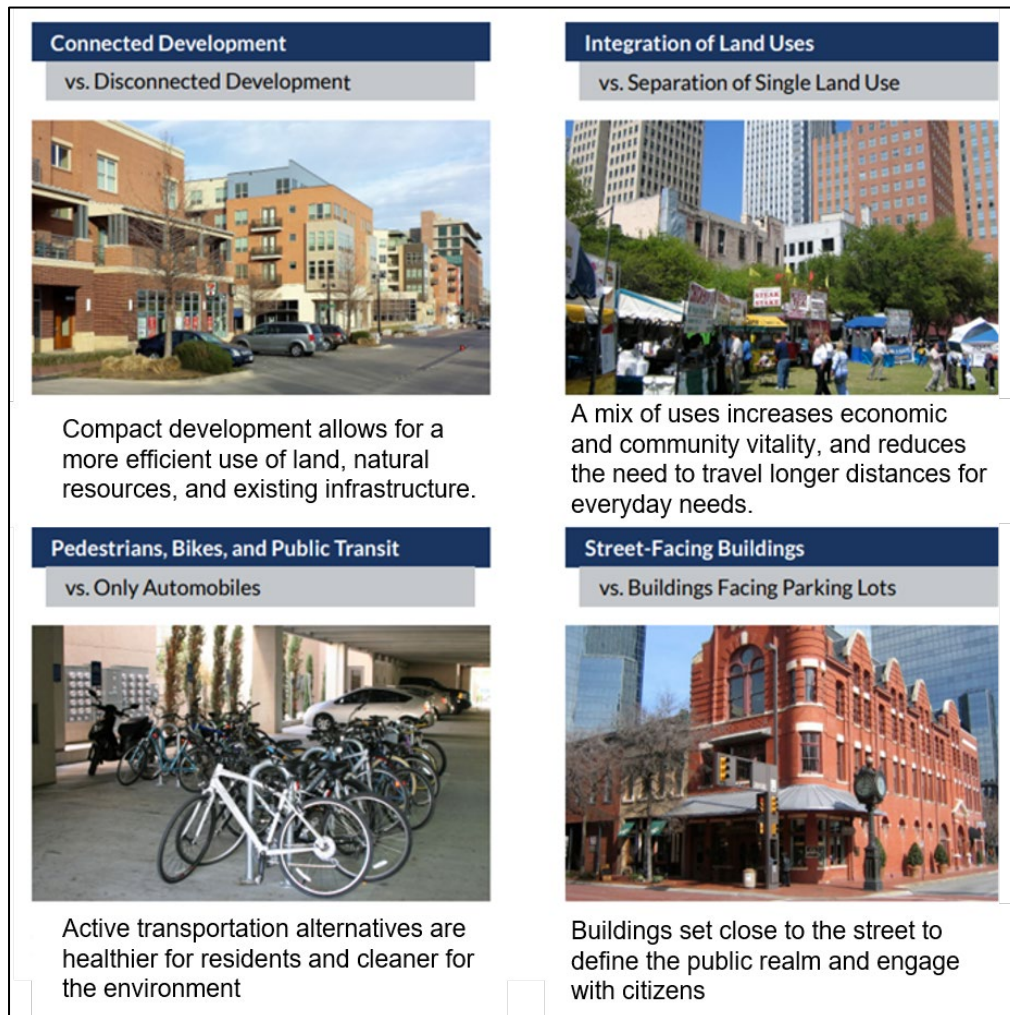


Figure 1: Visual examples of the core mixed-use design principles

3.2.2 BUILDING PLACEMENT GUIDELINES

1. The building must be pulled up to the street. Primary entrances must be prominent and street-facing.
2. No on-site surface parking lot is permitted between the building and the street.
3. On-site surface parking areas must be located to the rear of the building.
4. Surface parking shall not be permitted between a building front and the street, with the exception of angled, perpendicular, or parallel parking that is designed to function as on-street parking.

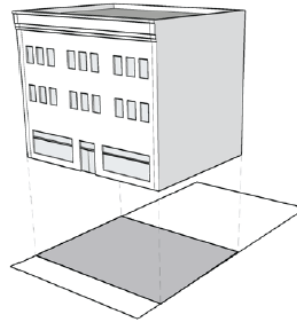


Figure 2: Illustration of Vertical Mixed Use building placement

3.2.3 GUIDELINES FOR ALL BUILDINGS

The following are guidelines for all buildings in the VMU and C-N Districts.

3.2.3.1 Façade Variation

3.2.3.1.1 Articulation

Each building oriented to a publicly accessible street or open space must incorporate architectural elements to add interest, create shadow and excitement, and provide articulation.

BUILDING ARTICULATION

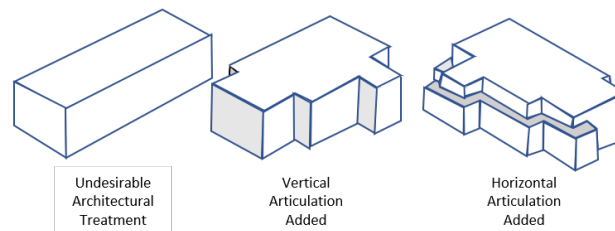


Figure 3: Illustration of articulation

3.2.3.1.2 Variation

Buildings facades shall have no more than 30' horizontal or 40' vertical space without a feature in order to add scale to a structure and break up large expanses of unadorned walls. Such breaks may include, but are not limited to recesses, projections, windows, roofs, alcoves, porticoes, oriels, awnings, galleries, banding, change in building materials, building façade insets, artwork, etc. Commercial ground floors may substitute glass walls for first floor articulation.

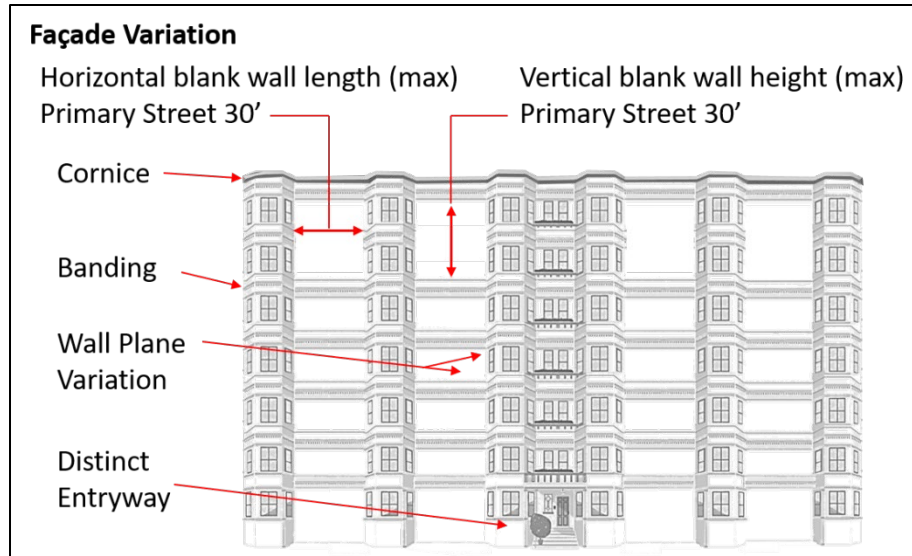


Figure 4: Illustration of façade variation

3.2.3.1.3 Exceptions to Articulation and Variation Guidelines

Articulation and variation requirements shall be waived on ground floor façades that consist of at least 75% transparent walls.



Figure 5: Example of articulation and variation exception

3.2.3.2 360-Degree Architecture

Blank walls are not desired; therefore all sides of a building shall incorporate architectural features complimentary to the overall building design and primary building façade. Buildings may have primary and secondary façades that are treated differently with similar complimentary materials and colors.

3.2.3.3 Transparency in buildings with ground floor commercial use

1. The ground floor façade shall have transparent surfaces covering a minimum of 60% of the street-fronting, street-level.
2. Transparent treatments shall encourage interaction between the pedestrian and the ground-story space and allow pedestrians to view activities inside the building or displays related to those activities.
3. Transparent surface area must allow views into the ground-story use for a depth of at least 4'.

4. The transparent material must be clear or unpainted, or, if treated, must be translucent. Spandrel glass or back painted glass does not comply with this provision.
5. No more than 25 continuous linear feet of street-fronting façade may lack a transparent surface (e.g. a window or a transparent door).

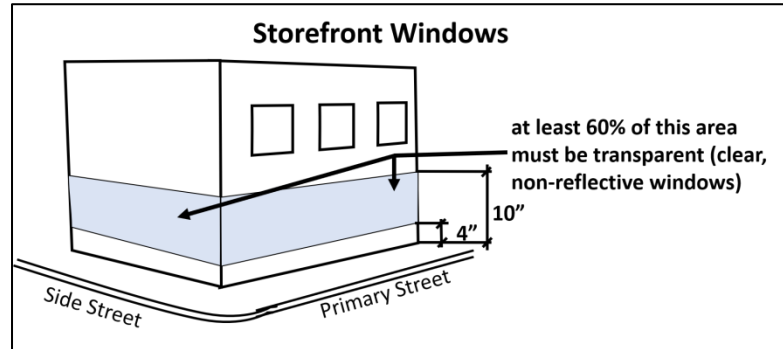


Figure 6: Illustration of commercial use transparency

3.2.3.4 Building Materials

A combination of materials, textures, colors, and finishes shall be utilized to create visual interest.

3.2.3.4.1 Façade Building Materials

Durable synthetic building materials that convincingly match the appearance of natural building materials may be used as a primary building material. Not less than 60% of all building facades (not including door and window areas) facing publicly accessible streets or open space shall be constructed of the following materials:

- (a) Stone
- (b) Brick
- (c) Colored and textured masonry product designed to simulate brick or stone
- (d) Architectural tile
- (e) Embossed or pre-finished architectural metal panel
- (f) Stucco
- (g) Glass block
- (h) Terra cotta
- (i) Patterned pre-cast concrete
- (j) Cement plaster
- (k) Cement board siding
- (l) Cast stone or prefabricated brick panels
- (m) Split-face block
- (n) Concrete finishes or precast concrete panels (tilt wall) incorporating exposed aggregate, hammered, or sandblasted surfaces, or covered with a decorative cement-based acrylic coating
- (o) Non-durable building materials such as EIFS (Exterior Insulation and Finish System) may not be used in the first three feet above sidewalk level of a building.

3.2.3.4.2 Accent Building Materials

In addition to the above materials, acceptable accent materials include decorative precast concrete block, metal, stone, cladding, and glass block

3.2.3.4.3 Façade Materials, Maximum

Excluding the area for doors and windows, no single cladding material may constitute more than 70% of the total surface area of a street-facing façade. Smooth-face concrete masonry units are prohibited on street-facing façades.

3.2.3.4.4 Facade Colors

Building trim and accent areas may feature brighter colors, including primary colors when complementary to the coloration of the primary facade and consistent with the architectural design of the building.

3.2.3.5 Murals and Graphic elements

Murals, art, and other graphic elements not containing a commercial message are allowed on all buildings and no permit is required to install these elements provided that the graphic was included as part of the building permit for the structure to which it is attached. A mural shall be determined to have a **commercial message** if it is an advertisement intended to sell or promote goods, services. Murals and graphic elements shall not be counted toward allowed sign area.



Figure 7: Example of murals and graphic elements

3.2.3.6 Blank Wall Treatment

Blank walls may not be the primary façade on any building. All sides and areas of buildings that are visible to the public should be treated with materials, finishes, architectural details, or graphic elements that are of high-quality and appropriate for use on the primary street-facing façade.

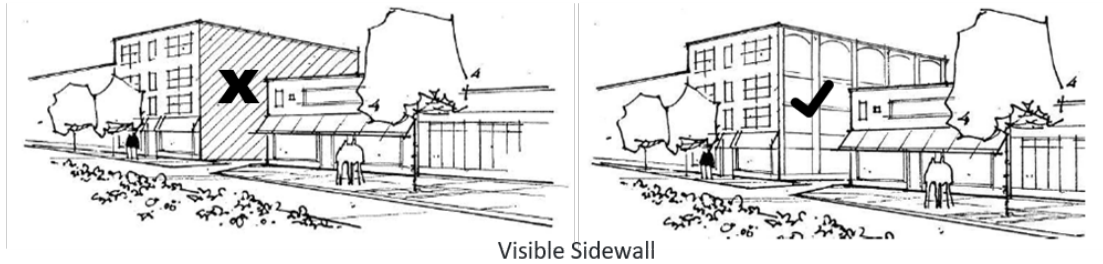


Figure 8: Example of blank wall treatment

3.2.3.7 Building entries

1. All street-fronting street-level portions of a building must have windows and primary entrances facing the street.
2. The primary entrance of a building shall have a clearly defined, highly visible customer entrance with distinguishing features.
3. The principle building must have its main entrance from a public sidewalk, plaza, or from a private sidewalk or plaza that is publicly accessible through a public use easement.
4. Primary entrances shall not be from a parking lot.
5. Clearly defined secondary entrances from parking lots are desirable.

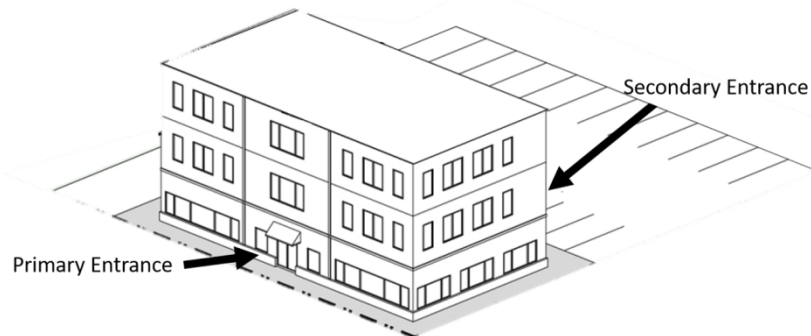


Figure 9: Illustration of primary and secondary entrance

6. All public building entrances for commercial developments and primary entrances for residential units must incorporate design features that protect pedestrians from the sun and rain.
7. Each retail use with exterior ground level exposure along a street or public space shall have an individual public entry from the street or public space.
8. Building entrances may include doors to individual shops or businesses, lobby entrances, entrances to pedestrian-oriented plazas or courtyard entrances to a cluster of shops or businesses.
9. Entrances to corner buildings with ground floor retail uses shall be located at the corner of the primary street and shall have chamfered building corners at least ten feet from the corner setback. Building corner chamfers may be limited to the street level story.

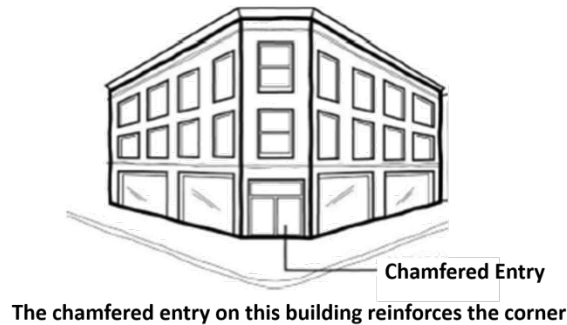


Figure 10: Example of a chamfered entry

3.2.3.8 Sign Regulations

The purpose of this section is to regulate signs to ensure consistency with the urban pedestrian-oriented nature of this district, and the dense, compact development. When a sign is erected or placed before a permit is obtained, the permit fee shall be double.

3.2.3.8.1 Compatibility with Building Architecture

Signs should generally be designed to be compatible with the architectural composition of the building and the district and not obscure any architectural accent, pattern, or object on the original structure.

3.2.3.8.2 Sign Materials

Sign finish materials shall be one of the following:

- (a) Metal, painted or enameled.
- (b) Cold cathode tube (neon).
- (c) Carved relief in stone or cast stone.
- (d) Wood or carved wood which is painted or sealed.

3.2.3.8.3 Electronic and Lighted Signs

1. Buildings and signs may be illuminated by remote light sources provided that these light sources are shielded to protect adjacent properties.
2. No illuminated sign may contain flashing or moving elements.

3.2.3.8.4 Pedestrian Clearance

A minimum clearance of seven feet shall be maintained below signs that are located over a walkway area measured from the walkway surface to the lowest part of the sign. (Exception: projecting signs that extend no more than 20 inches from a wall.)

3.2.3.8.5 Signs Exempt

Signs with a sign area under four square feet and used in the operation of a business, such as hours of operation, credit cards accepted, and parking information shall not require a sign permit.

3.2.3.8.6 Signs Allowed/Prohibited

The following signs shall be allowed:

1. All signs specifically permitted in Section 3.2.3.8.7

The following signs are prohibited:

1. Any sign that includes flashing, blinking, rolling, revolving, or is put into motion by the atmosphere will not be permitted.
2. Portable signs, except for a-frame or sandwich board signs, will not be permitted.
3. Billboards

3.2.3.8.7 Permitted Signs

1. A-frame/Sandwich Board Sign
2. Armature Sign
3. Awning Sign
4. Directory Sign
5. Hanging Sign
6. Institution Sign
7. Marquee Sign
8. Mural Sign
9. Onsite Directional Sign
10. Projecting Sign
11. Wall Sign - Attached
12. Window Sign

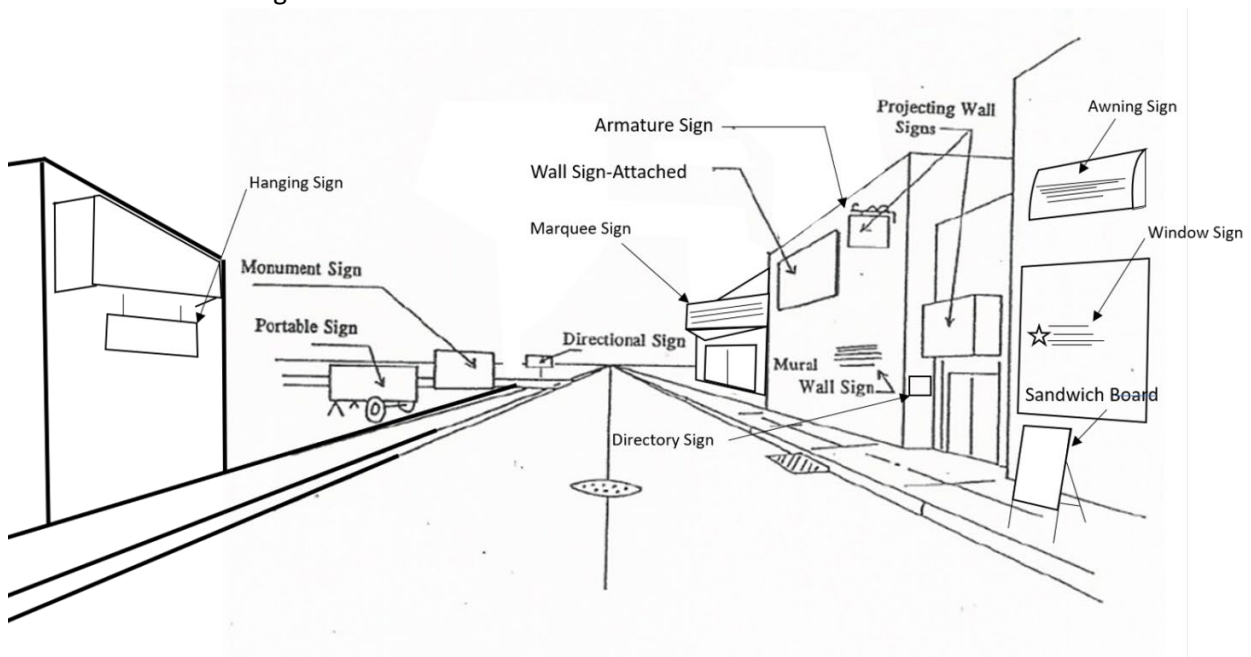


Figure 11: Illustration of sign types

3.2.3.8.8 Sign Standards

3.2.3.8.8.1 General

1. Each business with direct first floor access is permitted one hanging, awning, or wall sign and one armature sign per street frontage.
2. Rear entry to a business shall have signage to orientate customers.

3. The sign area shall be calculated based on the width of the building's facade to which the sign is attached. The maximum permitted sign area for a single business or single storefront shall be three square foot per linear foot of business frontage along a public street or alley. The width of the sign structure shall not exceed the width of the building's linear frontage. The maximum height of the sign structure shall not exceed one-third of the total height of the wall to which it is attached.

3.2.3.8.8.2 A-frame/Sandwich Board Signs

No more than one a-frame or sandwich board sign per business shall be allowed, and a minimum of four feet of clear sidewalk shall be maintained at all times. The sign shall be sufficiently weighted or anchored to prevent movement by wind or other elements. No a-frame or sandwich board sign shall exceed eight square feet per face or four feet in height. The entire sign structure shall be calculated as the total of sign area.

3.2.3.8.8.3 Armature Signs

The sign area of any one face shall not exceed 16 square feet in area. The maximum height of an armature sign structure shall be six feet. The maximum width shall be four feet. An armature sign may be placed adjacent to the public right-of-way provided it does not encroach on the sight visibility triangle and is a minimum of six feet from the outside curb line.

3.2.3.8.8.4 Awning Signs

The awning sign shall be located within the center 75% of the frontage of the awning, the tenancy, or the building face, whichever is least. Awning signs must maintain a minimum border of one inch between the letters or logo and the edge or a change of plane.

3.2.3.8.8.5 Building Identification Signs

Each building is permitted one building identification sign per abutting street. Building identification signs shall be considered as projecting signs or wall signs, attached or painted.

3.2.3.8.8.6 Directory Signs

On multi-tenant buildings where there are two or more tenants without direct outside access to a public street, a directory sign may be allowed. One directory sign per street, alley, and entry is permitted. A directory sign may take the form of an armature sign, projecting sign on ground floor of a building, or wall sign on ground floor of a building and must follow the regulations for each. A directory sign may contain four square feet, with an additional one-and a-half square feet, for each tenant having a separate lease space, up to a maximum area of ten square feet.

3.2.3.8.8.7 Hanging Signs

Hanging signs must maintain a minimum clearance of seven feet above the sidewalk and one foot from the curb. No hanging sign area shall exceed six square feet in area per face.

3.2.3.8.8.8 Marquee Signs

Marquee signs shall be permitted only on a theater or performance hall. Only two marquee signs shall be allowed for each building containing a theater or performance hall. A marquee sign may have backlighting, exposed incandescent bulbs, or neon lighting. Marquee signs must

not exceed eight feet in height and must maintain a minimum clearance of eight feet above the sidewalk.

3.2.3.8.8.9 Mural Signs

The provisions of this subsection shall not apply to Murals and Graphic Elements included as part of the building permit for the structure to which it is attached. Scanner murals, art, and other graphic elements advertising a business shall have a backing frame or support and shall counted toward allowed sign area for that business and meet the general guidelines for signage. Murals for advertising a business shall not be painted on the surface of the building.

3.2.3.8.8.10 Onsite Directional Signs

Onsite directional signs shall not exceed eight square feet or 30 inches in height and shall not contain advertising.

3.2.3.8.8.11 Projecting Signs

Projecting signs greater than 20 inches in width must maintain a minimum clearance of seven feet above the ground or sidewalk and two feet from the curb. A projecting sign must not extend above the wall to which it is attached. A projecting sign located within seven feet of the ground or sidewalk shall not exceed five square feet in area per face. The area per face of a projecting sign located over seven feet above the ground or sidewalk shall be calculated based on the total height of the wall to which the sign is attached at one square foot per one foot of wall height. The maximum height of the total sign structure shall not exceed one-third of the total height of the wall to which it is attached and shall not project more than six feet.

3.2.3.8.8.12 Wall Signs - Attached

An attached wall sign must be mounted parallel to the wall surface. Attached wall signs may not project more than six inches from the wall surface.

3.2.3.8.8.13 Window Signs

No window sign or signs shall cover more than 25% of any individual window. Window sign area shall not exceed 40 square feet on any facade.

3.2.3.8.8.14 Institution Signs

Institution signs shall not exceed 32 square feet with a maximum height of six feet, and shall be monument-type signs.

3.2.3.9 Roof Types

All roof types are permitted. When flat roofs are used, a wall having a three-dimensional treatment shall conceal them.

3.2.3.10 Loading Areas

1. Loading and refuse collection areas shall not be permitted between buildings and streets. Loading areas and refuse collection areas shall not face toward any street and must be screened from view of public and private streets and rights of way.
2. Streets shall not be used directly for loading, unloading.

3. Buildings and improvements upon lots must be designed to properly accommodate loading, unloading, and refuse collection.
4. At least one off street loading space shall be provided and maintained on the same lot with every building or part thereof having a gross floor area of 10,000 square feet or more.
5. Off street loading spaces may not block use of required parking space areas of site or adjacent sites.
6. All loading and unloading shall be performed on the site. Such on site loading areas shall be in addition to required off street parking and shall not be located within driveways.
7. Each loading area shall be not less than 12' wide, 25' long, and if enclosed or covered, 14' high. Adequate turning and maneuvering space must be provided on the site.

4 LANDSCAPE STANDARDS

The following standards shall apply to the development of private and public areas of green space and landscape elements such as signage, lighting, screening, and parking.

4.1 SIGNAGE AND WAYFINDING

1. Unless specifically addressed in this Ordinance, the signage and wayfinding shall conform to the Sign Requirements set forth in the city of Sherman Code of Ordinances. A sign plan is required at the time of Detailed Site Plan submittal. A wayfinding system providing directional and informational signs that are attractive, clear and consistent in theme, location, and design shall be allowed. Wayfinding and signage may conform generally to the design pallet, theme, and architectural elements of the Development.
2. Upon submittal of an acceptable sign plan, the Director may recommend alternative wayfinding and signage requirements contained in the submitted plan to the Planning and Zoning Commission for adoption and approval, provided that such alternatives are recommend by the developer and consistent with this PD.
3. A Development identification element at the main entrances to a district may have signage or artwork that is up to 30' tall and have other related features such as planters, trellis elements, water features, statues, monuments or other features to enhance and add character to the Development.

4.2 LIGHTING

4.2.1 PEDESTRIAN TRAILS

Sidewalk lighting with standard poles, pedestrian height poles, bollards and /or wall mounted fixtures are allowed on pedestrian trails.

4.2.2 STREETS

Decorative or themed lighting to create a special pedestrian street environment will be allowed. Use of landscaping, signage, and seating may be used in conjunction with the themed lighting to create a pedestrian street environment.

4.2.3 PARKING LOT

Standard poles and fixtures shall be compatible with the architecture of the building.

4.2.4 STREET LIGHTING

1. All new developments should provide pedestrian scaled streetlights where feasible.
2. All alleys should have lights mounted on outbuildings or garages.
3. Outdoor lighting should create and encourage a pedestrian friendly environment.
4. Street lighting should be designed to be appropriate to its neighborhood identity.
5. Lighting poles may be alternating sequence from one side of the street to the other, to ensure continuous light pockets.
6. Lamp posts should be placed within a minimum of one foot from the sidewalk.
7. To create a consistent and pleasing character throughout the Development, where applicable, the style of the street fixtures should be consistent.

4.3 FENCES AND SCREENING

The purpose of these standards is to promote walkability and a sense of community, by creating a visually open look that encourages human interaction and mobility.

1. All uses within the VMU and C-N districts shall provide a screening device as an enclosure for garbage and trash containers.
2. The districts or a group of buildings within the districts may not be walled, fenced, or restricted from general public access.
3. To promote an inclusive and walkable community experience, complexes and subdivisions with perimeter fencing along public streets are prohibited.

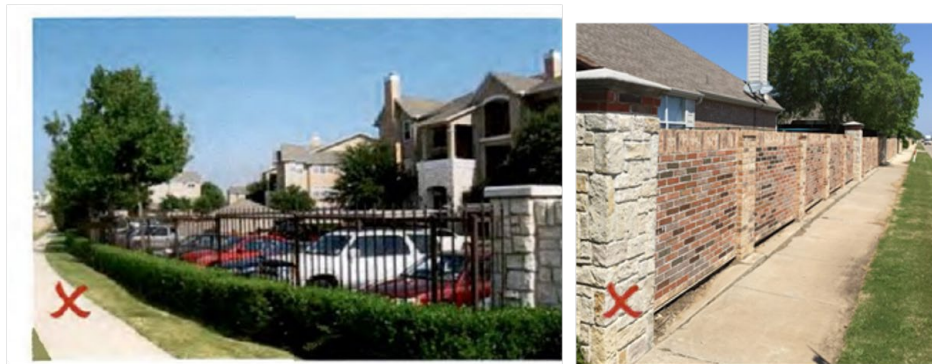


Figure 12: Example of prohibited perimeter fencing

4. Excluding SF-U and SF-UA rear yard fencing, all fences and walls along public street frontage or public open space cannot be taller than 4' and must be open style.



Figure 13: Example of open style fencing

5. Exterior fences and gates located along public streets, along private streets or walkways that are publicly accessible through a public use easement, or along publicly accessible open space shall not extend beyond building facades.
6. For a private residential patio or yard, or a commercial outdoor dining area, a fence, railing, or low wall may extend beyond the building facade if the following requirements are met:
 - a. Fences, railings, and walls must not exceed 4' in total height as measured from the ground to the top of the fence, railing and/or the wall however;
 - b. For elevated residential stoops the total fence, railing, and/or wall height must not exceed 5' total.
7. Roof-based mechanical equipment shall be screened from view of adjacent properties and public rights-of-way.
8. Visual screening of trash and machinery shall be regulated by Subsection 14.04.003 City of Sherman Zoning Ordinance.

4.4 PARKING

Upon submittal of an acceptable comprehensive parking plan the Director may recommend alternative parking requirements contained in the submitted plan to the Planning and Zoning Commission for adoption and approval.

4.4.1 ON-STREET PARKING

The presence of parked cars provides a physical barrier between traffic lanes and sidewalks, thereby lessening the impact of moving traffic on pedestrians. On-street parking also facilitates food delivery and encourages safe passenger drop off and pickup.

1. On street parking is permitted in all areas.
2. On-street parking within 200' of a lot shall be counted toward the total required parking for that lot.

4.4.2 OFF-STREET PARKING

1. Off-street parking shall not be permitted between a building front and the street.

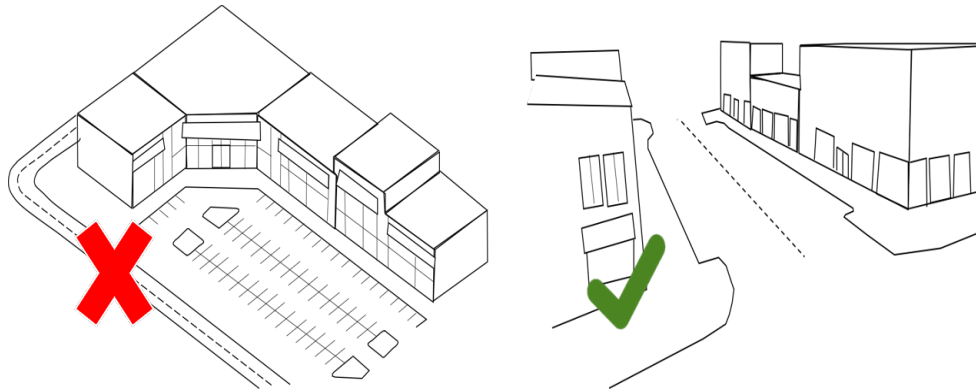


Figure 14: Illustration of prohibited off-street parking and permitted on-street parking

2. One full level of a multi-level parking structure at or below grade must be open for general public parking.

4.4.3 MINIMUM PARKING REQUIREMENTS

1. Refer to Subsection 14.04.003 City of Sherman Zoning Ordinance, as it exists or may be amended, for parking regulations for minimum requirements.
2. Walk-up ATMs require no parking.

5 PARKS, TRAILS AND OPEN SPACE STANDARDS

Parks and Open Space Standards will demonstrate open space and park standards including types of amenities, trail connections, and the responsibility of management of parks and open space within the Planned Development.

The Open Space Guideline Plan is attached as Exhibit C and shall serve as the guiding document for the locations and types of open spaces and trails that shall be provided on the property. The exact location of each open space shall be determined at the time of the Detailed Site Plan.

5.1 OPEN SPACE

Open space is intended to retain the natural landscaping and may be enhanced to increase community enjoyment. The majority of the Open Space will remain a place of beauty and preservation to create a natural and scenic landscape.

5.2 STREETS AND SIDEWALKS

In order to improve walkability and to create a fine network of streets and sidewalks that accommodate bicyclists and pedestrians, providing a variety of routes for all users, streets and sidewalks shall follow the guidelines set forth below.

5.2.1 STREETS

All streets must be dedicated as public streets, or if the city does not accept the dedication of some or all as public streets, the streets that have not been dedicated as public streets must be platted as private streets. All streets are to be open for public use and may not be gated or have restricted access, except as may be permitted for special events.

5.2.1.1 Street Design

Street Design must be organized into blocks created by a connected grid of streets. A variety of street types and block sizes may be incorporated to create the grid, including diagonal, off-set, and angled streets. Cul-de-sacs and curvilinear streets are prohibited, except where needed to account for major natural features or to follow the Master Thoroughfare Plan of Sherman.

5.2.1.2 Block Size

The maximum block size is 5.75 acres.

5.2.1.3 Block Length

The maximum block length is 600', with a desired typical block length of 400'. The block length is the distance along a street face uninterrupted by an intersecting street, transit right-of-way, and/or public usable open space. Block lengths can be reduced to accommodate specific site conditions or design requirements.

5.2.2 SIDEWALKS

1. Sidewalks are required on both sides of all major and minor streets.
2. Trees, landscaping, outdoor dining areas, bicycle racks, and street furniture may be placed on or within a sidewalk, but a minimum clearance width equal to the minimum sidewalk width must be maintained.
3. All walkways are to be open to the public unless designated as private.
4. In addition to concrete, alternative paving materials including, but not limited to, pavers, colored concrete, and stamped concrete are allowable materials to be used in the right-of-way.
5. Cement-stabilized sand base can be used for pedestrian walkways.

5.2.3 BIKE ROUTE

The current bike route on East Brockett Street shall continue to East Tuck Street. On-street bike routes shall be designated by signage. Where possible, bike routes should connect to existing or planned trails or sidewalks. Bike routes are encouraged.

5.2.4 CONNECTIVITY

Connections must be made to provide direct pedestrian and bicycle access from development to adjacent sidewalks, trails, parks, transit stops, and other connections where feasible. Pedestrian access must be provided by connection to any sidewalks or walkways on adjacent properties that extend to the boundaries. Access drives/aisles/access easements should be extended to property boundaries in order to provide for connectivity with future development(s).

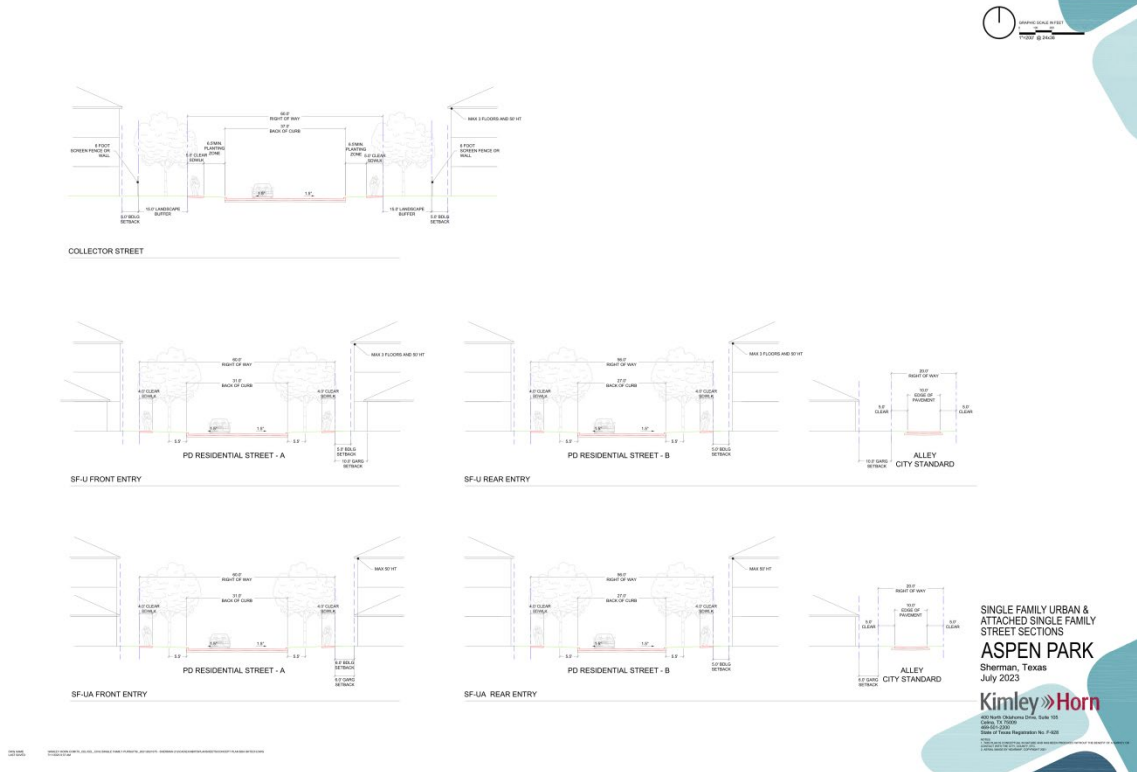


Figure 15: Illustration of Single Family Urban & Attached Single Family Street Sections

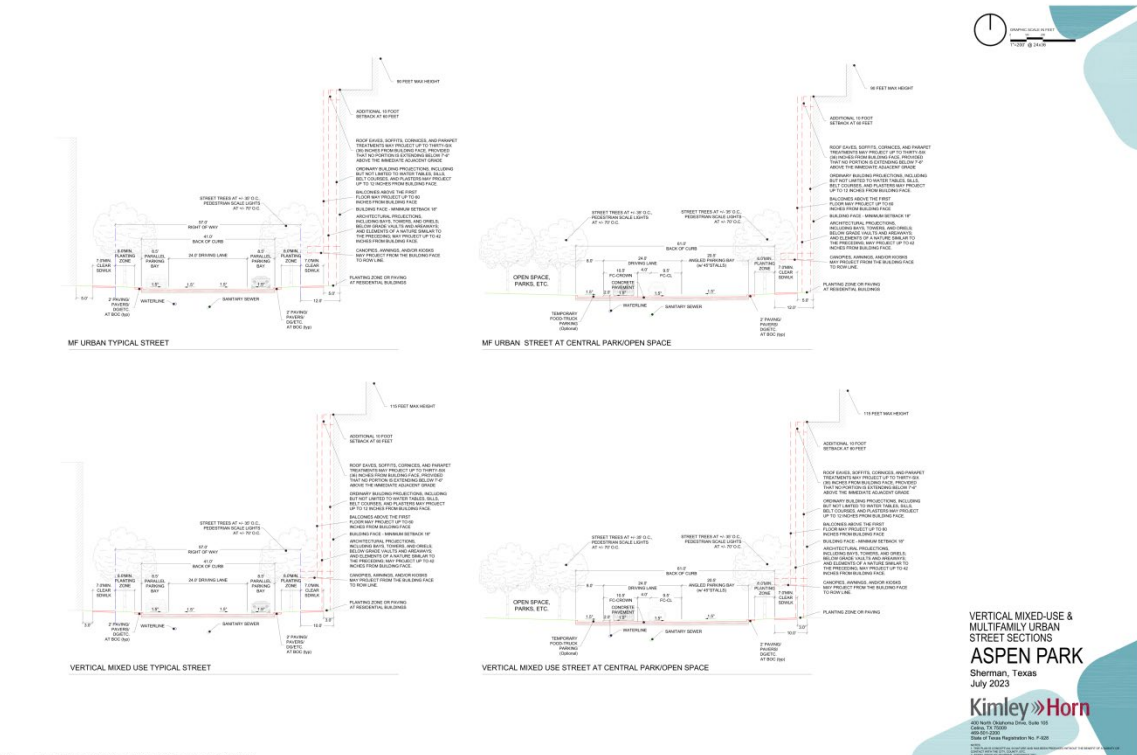
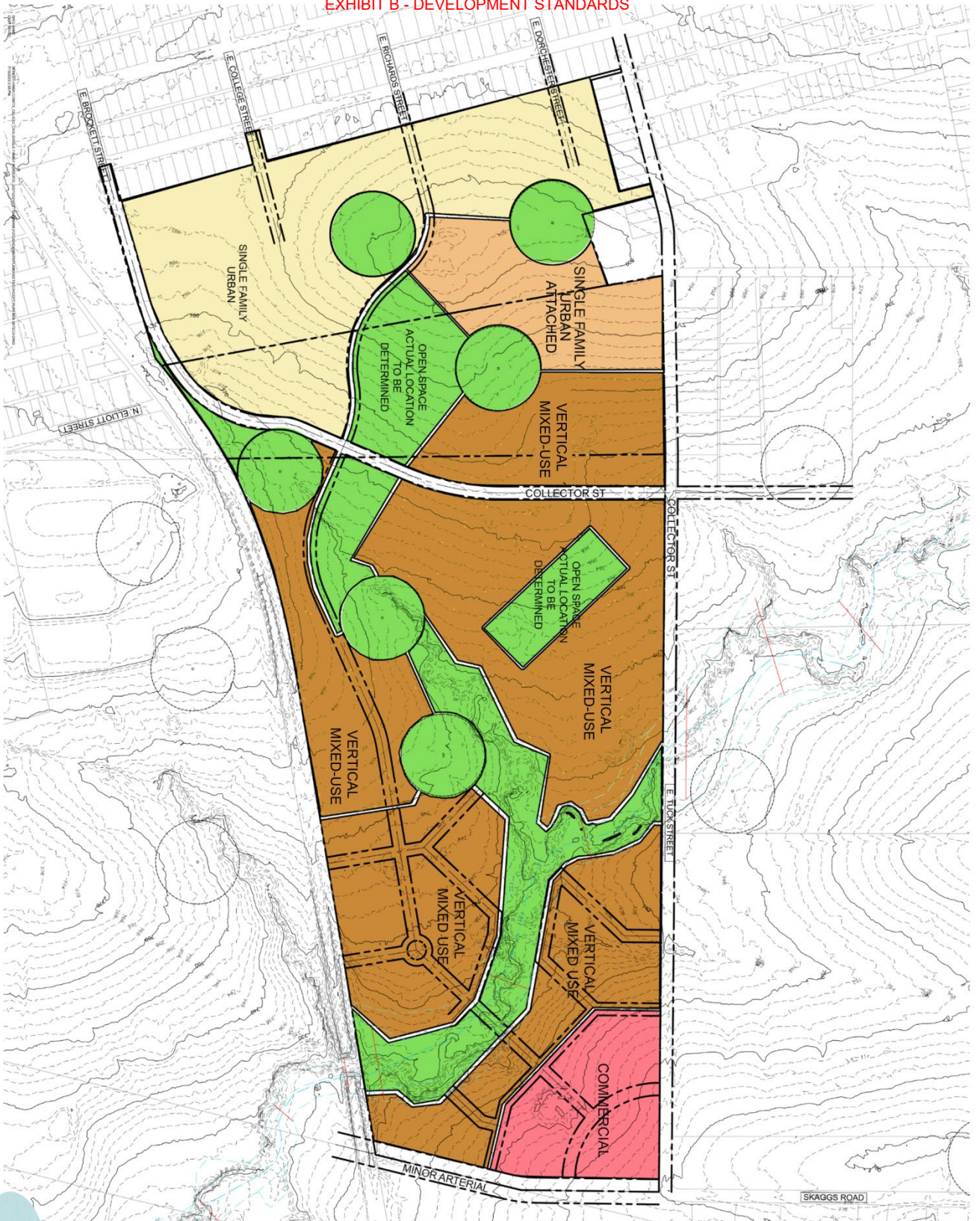


Figure 16: Illustration of Vertical Mixed-Use & Multifamily Urban Street Sections

EXHIBIT B - DEVELOPMENT STANDARDS



UNITS	ACRES
Usable Open Space (18% minimum/no less than 40 acres)	40.0
1/2 OF MINOR ARTERIAL	1.9
COMMERCIAL	11.6
VERTICAL MIXED-USE (VMU)	6650
SINGLE FAMILY URBAN	125
ATTACHED (SFUA)	11.4
SINGLE FAMILY URBAN (SFU)	225
	37.5
	7,000

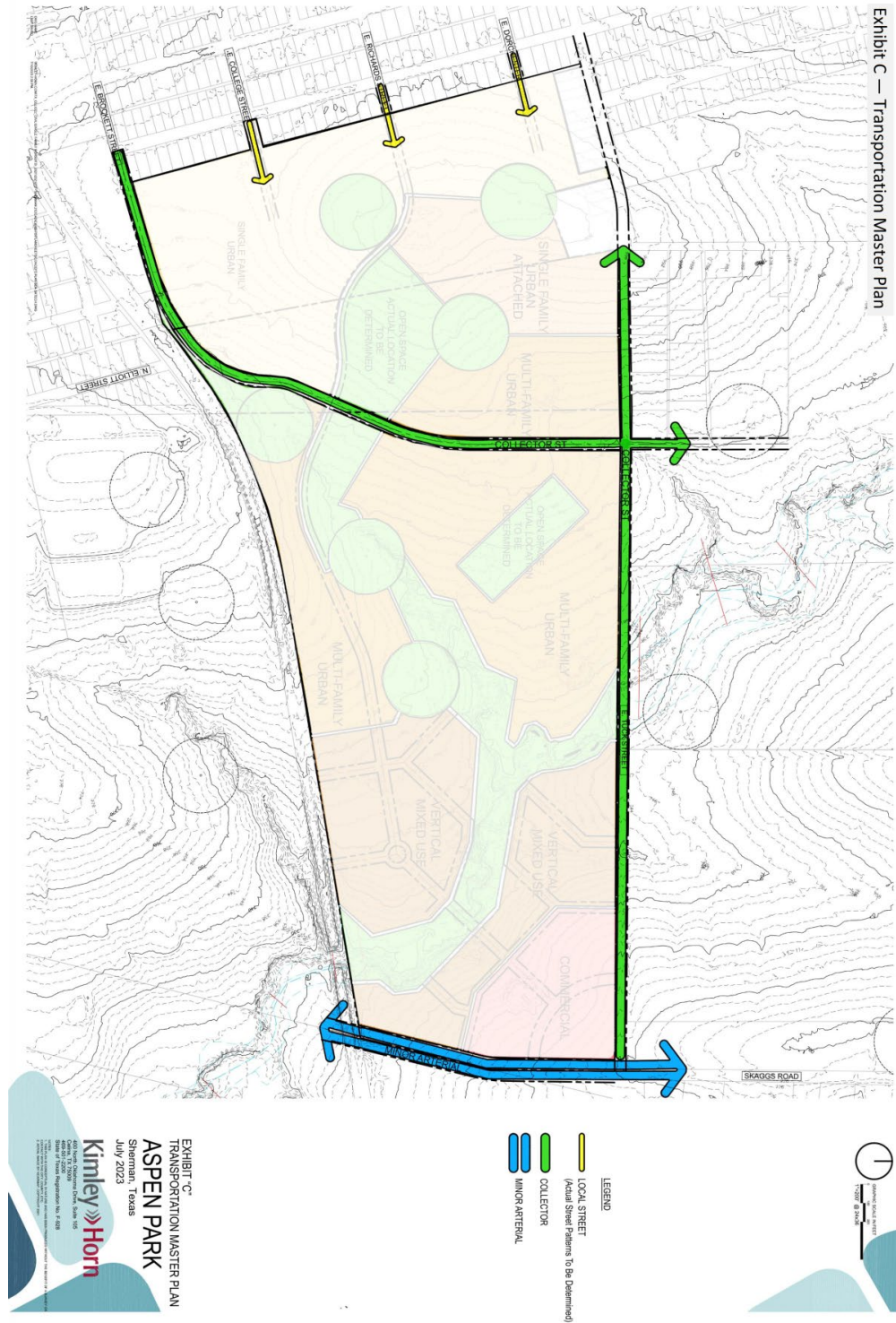
Note:
There is a minimum open space requirement of no less than 40 acres (18%). The location of which can be flexible depending on the engineering of the site.



EXHIBIT "A"
ASPEN PARK
Sherman, Texas
July 2023
Kimley-Horn
Consulting Engineers, Inc.
10000 Preston Road, Suite 100
Dallas, Texas 75240
Phone: 972.306.8000
Fax: 972.306.8001
www.kimley-horn.com
Registration No. F-4268



Exhibit C — Transportation Master Plan



AREA CALCULATIONS

Percentage	Units	Acres	
28%		58.5	Open Space
1%		1.9	1/2 Minor Arterial
5%		11.6	Commercial
Detached	225	37.5	SF Lots
Attached	125	11.4	
VMU	6,650	36.5	MIXED-USE
	7,000	157.4	Total Acres

Single Family Urban					
225 units		4,000 sf lots	40'x90'		
@	6 u/ac				
		37.5	acres		

Single Family Urban Attached					
125 units		1,200 sf lots	20'x60'		
@	11 u/ac				
		11.4	acres		

Vertical Mixed Use					
6,650 units		300 per phase	22 phases		
@ 65-85	u/ac				
		91.1	acres		